

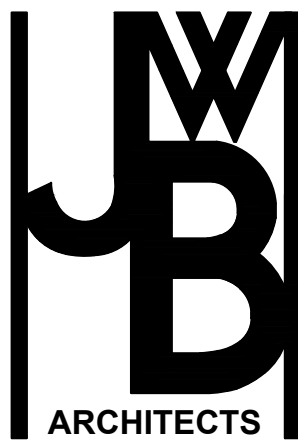
SHELL BUILDING ONLY

2020 11 0224

PLANTATION PLAZA

HWY 27

LEESBURG, FLORIDA



ARCHITECT

JWB ARCHITECTS
2295 S HIAWASSEE RD
SUITE 304
ORLANDO, FLORIDA 32835
407.298.5020

SHEET INDEX

COVER SHEET

ARCHITECTURAL

- A001 ARCHITECTURAL SITE PLAN
- A002 ENLARGED SITE PLAN
- A003 SITE DETAILS
- A101 OVERALL FLOOR PLAN
- A102 OVERALL REFLECTED CEILING PLAN
- A103 ROOF PLAN
- A200 LIFE SAFETY PLAN
- A201A MAIN FLOOR PLAN - AREA A
- A201B MAIN FLOOR PLAN - AREA B
- A202A REFLECTED CEILING PLAN - AREA A
- A202B REFLECTED CEILING PLAN - AREA B
- A301 ELEVATIONS
- A302 ELEVATIONS
- A303 ELEVATIONS
- A401 SECTIONS
- A402 SECTIONS
- A403 SECTIONS
- A404 SECTIONS
- A501 SCHEDULES AND DETAILS

STRUCTURAL

- S1 FOUNDATION PLAN
- S1.1 FOUNDATION PLAN
- S2 ROOF FRAMING PLAN
- S2.1 ROOF FRAMING PLAN
- S3 UPPER ROOF PLAN
- S3.1 UPPER ROOF PLAN
- S4 FOUNDATION DETAILS
- S5 DETAILS & SECTIONS
- S6 DETAILS & SECTIONS
- S7 DETAILS & SECTIONS
- S8 NOTES

MECHANICAL

- M100 LEGEND AND NOTES - HVAC
- M201 FLOOR PLAN - HVAC
- M301 DETAILS - HVAC

PLUMBING

- P100 LEGEND, NOTES AND SCHEDULES - PLUMBING
- P201 PLUMBING PLAN

ELECTRICAL

- E100 ELECTRICAL LEGEND, NOTES & SPECS
- E200 LIGHTING PLAN
- E300 POWER PLAN
- E400 RISER & PANEL SCHEDULES

CODE INFORMATION

PROJECT SQUARE FOOTAGE:

TOTAL SQUARE FOOTAGE : 19,829 SQFT
NET RENTABLE AREA : 18,053 SQFT

CONSTRUCTION TYPE:

TYPE II-B - (SPRINKLERED)

OCCUPANCY:

B-BUSINESS

APPLICABLE BUILDING CODES:

- 2017 FBC, 6TH EDITION, BUILDING
- 2017 FBC, 6TH EDITION, EXISTING BUILDING
- 2017 FBC, 6TH EDITION, ACCESSIBILITY
- 2017 FBC, 6TH EDITION, MECHANICAL
- 2017 FBC, 6TH EDITION, PLUMBING
- 2017 FLORIDA FIRE PREVENTION CODE 6TH EDITION
- 2014 NATIONAL ELECTRIC CODE

SCOPE OF WORK:

SCOPE OF WORK CONSIST OF A NEW CMU EXTERIOR WALL
BUILDING (SHELL ONLY) WITH PLUMBING STUB-UPS FOR FUTURE
UPFIT. NO INTERIOR WALL OR FLOOR FINISHES TO BE APPLIED.

GENERAL SPECIFICATION:

THE GENERAL CONTRACTOR SHALL SECURE ALL PAINT COLORS PLASTIC LAMINATE COLORS FLOOR FINISH COLORS AND TYPE FROM THE OWNER.
THE GENERAL CONTRACTOR SHALL VISIT THE PROJECT SITE AND FAMILIARIZE HIMSELF WITH ALL THE EXISTING CONDITIONS.
ALL DIMENSIONS SHALL BE CALCULATED AND DRAWINGS SHALL NOT BE SCALED. QUESTIONS CONCERNING DIMENSIONING SHALL BE REFERRED TO THE ARCHITECT.
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES HAVING JURISDICTION OVER HIS PROJECT.
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AIA DOCUMENT A205 1993 EDITION GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF A SMALL PROJECT.
FLOOR CONSTRUCTION SEE SHELL BUILDING PERMITTED DRAWINGS - BUILDING 12, SHEET S-1 FOUNDATION PLAN.
PROVIDE MOISTURE AND HEAT MITIGATION WITHIN SUITE DURING SLAB CURING TIME PERIOD.
INSTALL WOOD BLOCKING SUFFICIENT TO CARRY THE LOADS APPLIED BY GRAB BARS HANGING CABINETS PLUMBING FIXTURES OR ANY SUCH APPLIED EQUIPMENT.

A. ROUGH CARPENTRY

1. WHERE INSTALLING BLOCKING FOR EQUIPMENT TO BE INSTALLED BY OTHERS WHERE LOCATIONS ARE NOT SUFFICIENTLY INDICATED ON DRAWINGS VERIFY THE EXACT LOCATION WITH THE ARCHITECT.
2. ROUGH HARDWARE: PROVIDE AND INSTALL ALL ROUGH HARDWARE AND METAL FASTENINGS OF SIZE AND TYPE REQUIRED FOR PROPER INSTALLATION AND CODE APPROVAL. ALL ROUGH HARDWARE SHALL EXCEED THE STRENGTH OF THE MEMBER ATTACHED.
5. ALL CONCEALED WOOD SHALL BE FIRE RESISTANT TREATED AS REQUIRED BY FBC CODE.

B. FINISH CARPENTRY & MILLWORK

1. FABRICATION AND INSTALLATION OF ALL CORNICE, MILLWORK, TRIM, PANELING AND MOLDING WORK.
2. FURNISHING DOORS, WOOD TRIM AND FRAMES. AS SPECIFIED IN THE DOOR SCHEDULE.

C. INSTALLATION

1. ALL MOLDED MEMBERS AND TRIM SHALL BE MITERED AT OUTSIDE OR COPED AT INSIDE CORNERS.
2. SCRIBING MITERING AND JOINING SHALL BE COMPLETED ACCURATELY, NEATLY, AND TIGHT, REQUIRING NO OR VERY LITTLE FILLING.
3. APPLY DOOR HARDWARE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FIT ACCURATELY, APPLY SECURELY AND ADJUST CAREFULLY.

D. GYPSUM WALLBOARD ASSEMBLIES

1. REFER TO WALL TYPES FOR ALL ASSEMBLIES OF WALLS
2. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
3. TILED OR WET AREAS TO HAVE WATER RESISTANT 5/8" GYP. BD.
4. FINISH JOINTS AND WALLHEADS WITH 3 COAT PERF-A-BEAD TAPE JOINT SYSTEM PROPERLY SANDED SCHEDULE. PERF-A-BEAD AT ALL EXTERNAL CORNERS OF 120 DEGREES OR GREATER. DURA-BEAD AT ALL 90 DEGREE EXTERNAL CORNERS - NO. 200 A TRIM AT DISSIMILAR MATERIALS.

E. PAINTING

1. ALL COLORS AS SPECIFIED IN THE FINISH SCHEDULE.
2. ALL MANUFACTURERS SPECIFIED ARE TO ESTABLISH COLOR, QUANTITY AND TYPE OF FINISH. COMPARABLE PRODUCTS OF OTHER MANUFACTURERS WILL BE FULLY CONSIDERED WITH APPROPRIATE SUBMITTALS. ALL PRODUCTS MUST BE MANUFACTURERS 1ST LINE QUALITY.
3. GYP. BD. WALL - LAVATORIES ONLY
 - a. 1ST COAT - OLYMPIC, PRIMER/SEALER, TINT TO FINISH COLOR
 - b. 2ND COAT - OLYMPIC, EGGSHELL ENAMEL, COLOR AS SPECIFIED
4. GYP. BD. WALLS, SOFFITS, BULKHEADS, ETC.
 - a. 1ST COAT - OLYMPIC, LATEX OR ACRYLIC PRIMER/SEALER, TINT TO FINISH COLOR
 - b. 2ND COAT - OLYMPIC, EGGSHELL ENAMEL, COLOR AS SPECIFIED
5. GYP. BD. WALL AND CEILING - RECEPTION, CORRIDOR, RESTROOM, SHOWER, AND STEAM ROOM
 - a. 1ST COAT - SHERWIN WILLIAMS, LATEX OR ACRYLIC PRIMER/SEALER, TINT TO FINISH COLOR
 - b. 2ND COAT - SHERWIN WILLIAMS, LATEX, HIGH-GLOSS, OR AS NOTED, COLOR AS SPECIFIED

WOODWORK AND TRIM

- a. 1ST COAT - ENAMEL UNDERCOAT
 - b. 2ND COAT - STAIN FINISH, COLOR AS SPECIFIED. SAND BETWEEN COATS AND CLEAN THOROUGHLY
- a. 1ST COAT - STAIN COLOR - MATCH ARCHITECTS SAMPLE
 - b. 2ND COAT - SEALER, SAND
 - c. 3RD COAT - GLOSS SEALER, SAND
 - d. 4TH COAT - SATIN FINISH COAT
5. APPLICATOR MUST EXAMINE AREAS AND CONDITION UNDER WHICH PAINTING WORK IS TO BE APPLIED AND NOTIFY CONTRACTOR IN WRITING OF CONDITIONS DETRIMENTAL TO PROPER AND TIMELY COMPLETION OF WORK. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PROTECT CARPET AND OTHER FINISHES FROM SPILL AND SPATTERS.
 6. DO NOT PAINT OVER DIRT, RUST, SCALE, GREASE, MOISTURE, DEFECTS OR CONDITIONS OTHERWISE DETRIMENTAL TO FORMATION OF A DURABLE, UNMARRED, UNBLEMISHED PAINT FILM.
 7. PERFORM PREPARATION AND CLEANING PROCEDURES IN ACCORDANCE WITH PAINT MANUFACTURERS INSTRUCTIONS AND AS HEREIN SPECIFIED FOR EACH PARTICULAR SUBSTRATE CONDITION.
 8. REMOVE HARDWARE, HARDWARE ACCESSORIES, PLATE, LIGHTING FIXTURES, AND SIMILAR ITEMS IN PLACE AND NOT TO BE FINISH PAINTED OR PROVIDE SURFACE APPLIED PROTECTION PRIOR TO SURFACE PREPARATION AND PAINTING OPERATIONS. REMOVE IF NECESSARY FOR COMPLETE PAINTING OF ITEMS AND ADJACENT SURFACES. FOLLOWING COMPLETION OF PAINTING OF EACH SPACE OF AREA, REINSTALL REMOVED ITEMS.
 9. CLEAN SURFACES TO BE PAINTED BEFORE APPLYING PAINT OR SURFACE TREATMENTS.
 10. PAINT APPLICATION TO WALLBOARD MAY BE BRUSH, ROLLER OR AIRLESS SPRAY OR BRUSH. APPLY PAINT IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS.
 11. APPLY ADDITIONAL COAT OR STAIN-KILL PRIMER WHEN STAINS OR OR OTHER CONDITION SHOWS THROUGH FINAL COAT OF PAINT UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR AND APPEARANCE. GIVE SPECIAL ATTENTION TO INSURE THAT SURFACES INCLUDING EDGES CORNERS CREVICES WELDS AND EXPOSED FASTENERS RECEIVE A DRY FILM THICKNESS EQUIVALENT TO THAT OF FLAT SURFACES.
 12. APPLY FIRST COAT MATERIAL TO SURFACES THAT HAVE BEEN CLEANED PRETREATED OR OTHERWISE PREPARED FOR PAINTING AS SOON AS PRACTICAL AFTER PREPARATION AND BEFORE SUBSEQUENT SURFACE DETERIORATION.
 13. ALLOW SUFFICIENT TIME BETWEEN SUCCESSIVE COATING TO PERMIT PROPER DRYING.
 14. MINIMUM COATING THICKNESS: APPLY MATERIALS AT NOT LESS THAN MANUFACTURERS RECOMMENDED SPREADING RATE.
 15. PRIME COATS: APPLY PRIME COAT OF PAINT TO MATERIAL WHICH IS REQUIRED TO BE PAINTED OR FINISHED AND WHICH HAS NOT BEEN PRIME COATED BY OTHERS.
 16. UPON COMPLETION OF PAINTING WORK, REMOVE SPATTERED PAINT BY PROPER METHODS OF WASHING AND SCRAPING USING CARE NOT TO SCRATCH OR OTHERWISE DAMAGE FINISHED SURFACES.
 17. AT THE COMPLETION OF WORK OF OTHER TRADES, TOUCHUP AND RESTORE ALL DAMAGED OR DEFACED SURFACES.

F. SHEET VINYL AND VINYL BASE

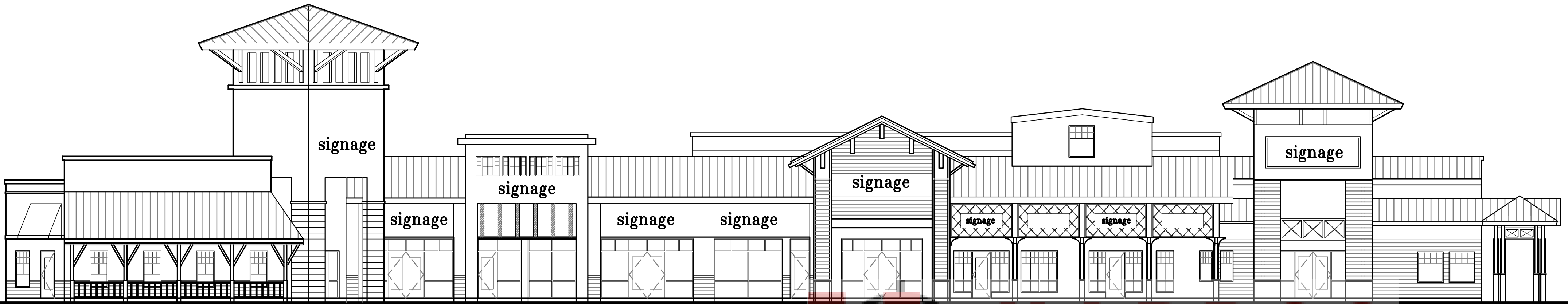
1. RUBBER WALL BASE TO BE INSTALLED IN ALL AREAS UNLESS SPECIFICALLY NOTED OTHERWISE IN DRAWINGS.

PROJECT LOCATION



SITE MAP

SCALE: NOT TO SCALE



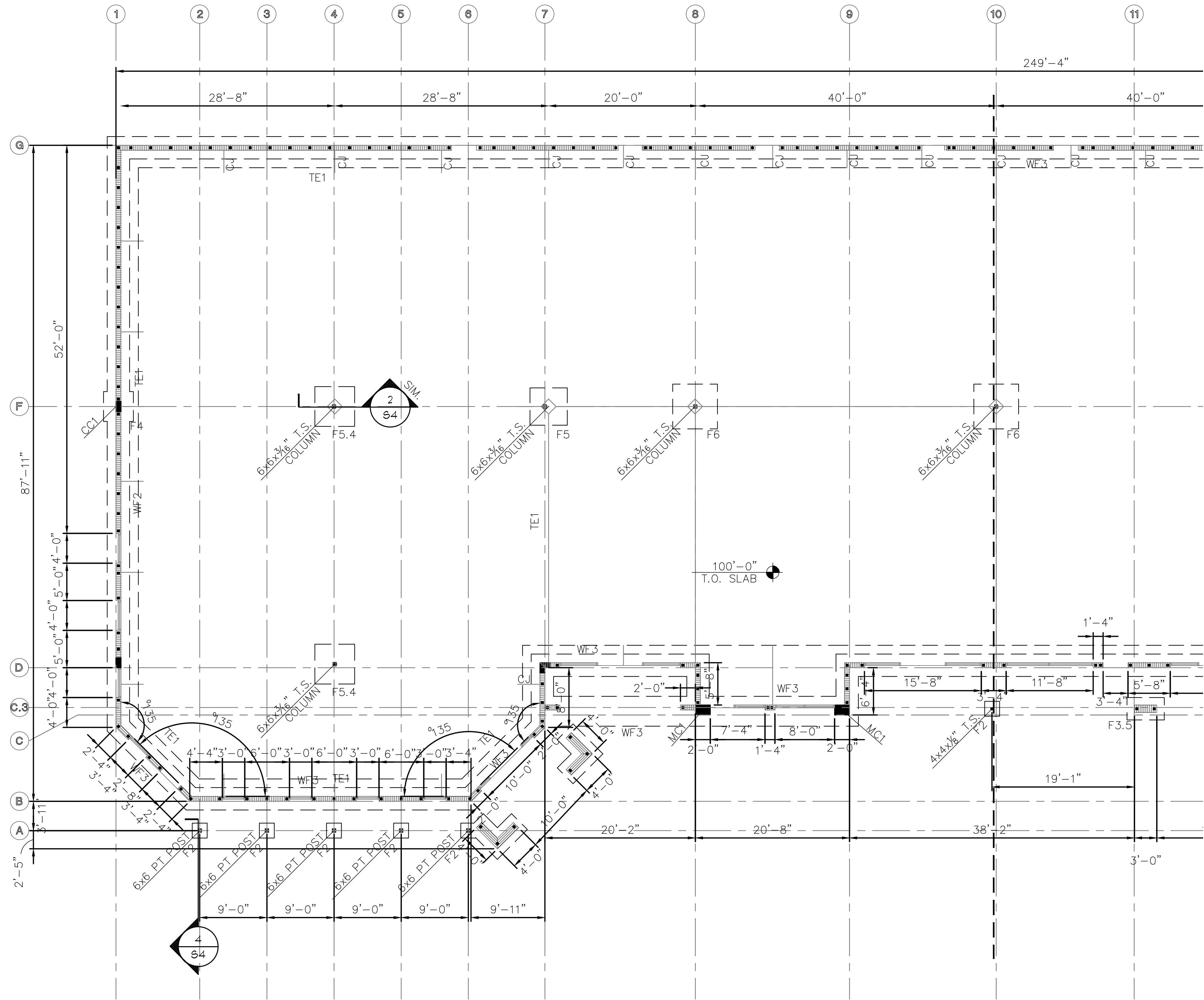
HARB
GENERAL CONTRACTORS, INC.

PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA



11-01-19-BLDG REVIEW CHANGES
03-18-21-BLDG REVIEW CHANGES
05-06-21-BLDG REVIEW CHANGES
10-21-21-BLDG REVIEW CHANGES

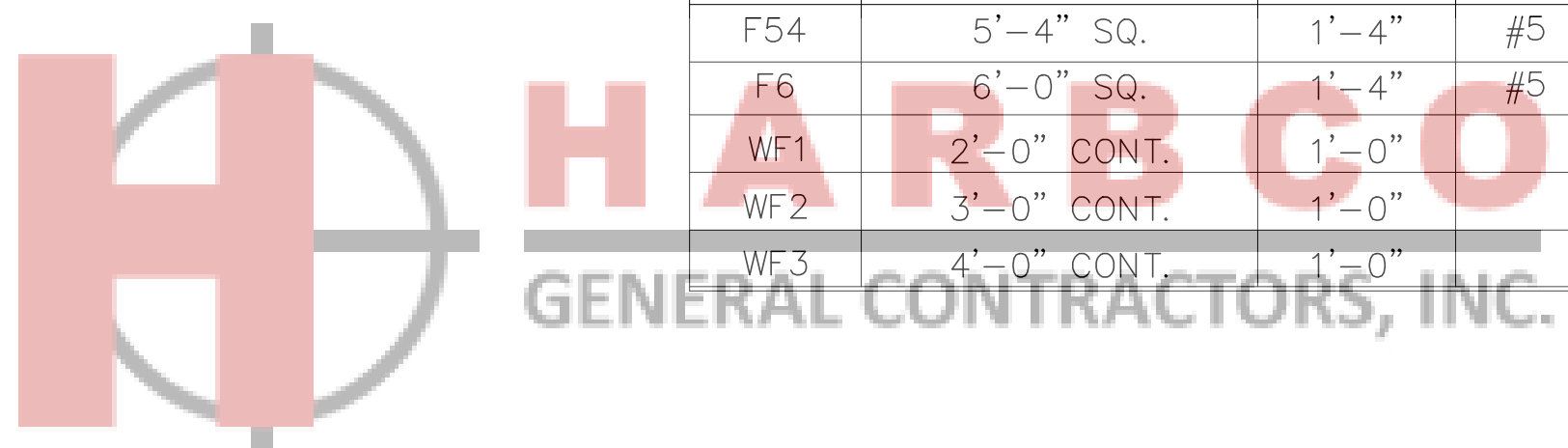
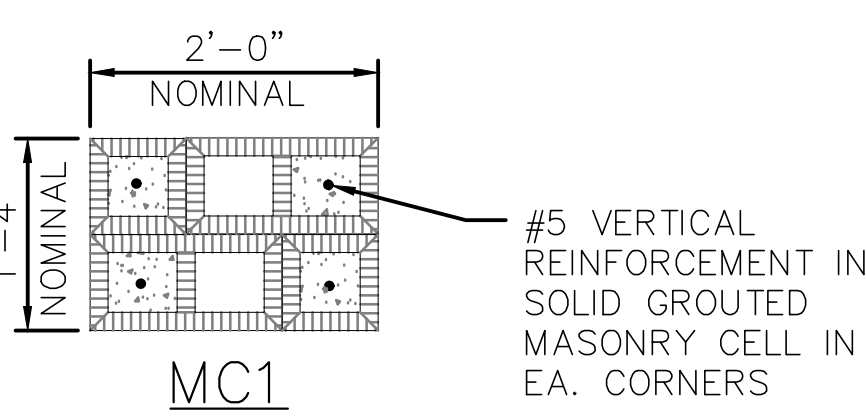
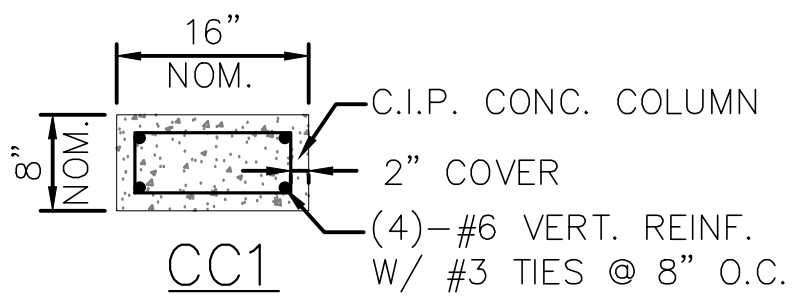
Project: 19-019



1 FOUNDATION PLAN
S1
SCALE: 1/8"=1'-0"

FOUNDATION SCHEDULE				
MARK	SIZE	DEPTH	REINFORCEMENT	T.O. FTG.
TE1	0'-8" CONT.	0'-8"	1-#5 REINF. CONTINUOUS	100'-0"
F2	2'-0" SQ.	1'-0"	3-#5 REINF. E.W. BOT.	99'-0"
F2.4	2'-0" x 4'-0"	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F3.5	3'-0" x 5'-0"	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F4	4'-0" SQ.	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F5	5'-0" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
F5.4	5'-4" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
F6	6'-0" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
WF1	2'-0" CONT.	1'-0"	3-#5 CONTINUOUS	98'-8"
WF2	3'-0" CONT.	1'-0"	4-#5 CONTINUOUS	98'-8"
WF3	4'-0" CONT.	1'-0"	5-#5 CONTINUOUS	98'-8"

COLUMN SCHEDULE



LAKE COUNTY BUILDING SERVICES
This document must be on jobsite for inspections.
This document was reviewed for code compliance; this does not relieve the applicant from correcting errors and omissions and complying with the current Florida Building Code.

JWB
ARCHITECTS
LIC. # AA26001266
2295 S. HIAWASSEE RD.
SUITE 304
ORLANDO, FLORIDA 32835
PH: 407.298-5020
FX: 407.298-5030

Owner:

ALI JAWAD

FOUNDATION PLAN

PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

Architect of Record:
John W. Burl - JWB0163

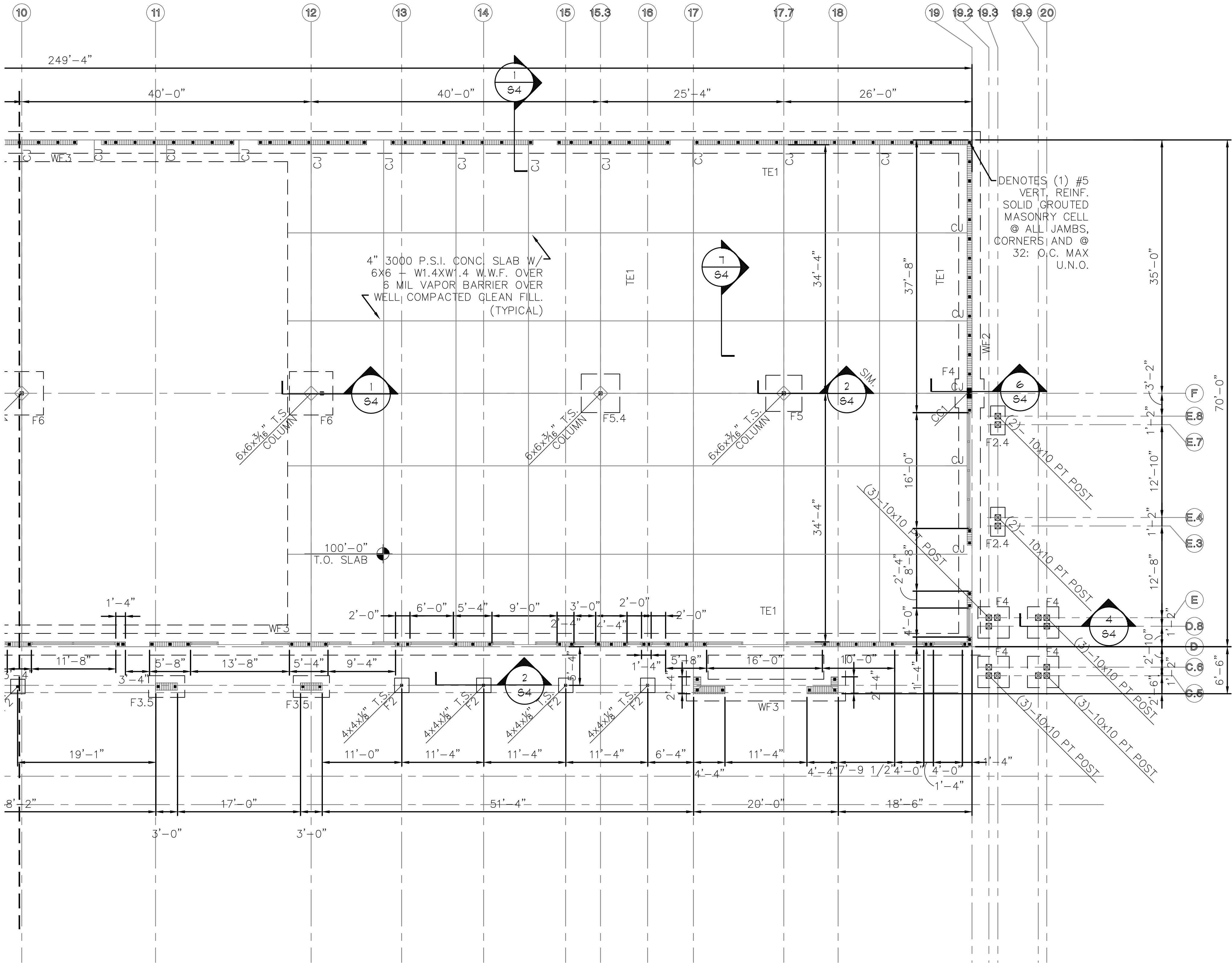
Revisions:

Date: 06-05-2019	Drawn By: RR	Checked By: JWB
---------------------	-----------------	--------------------

Project No.
19-019

Sheet No.

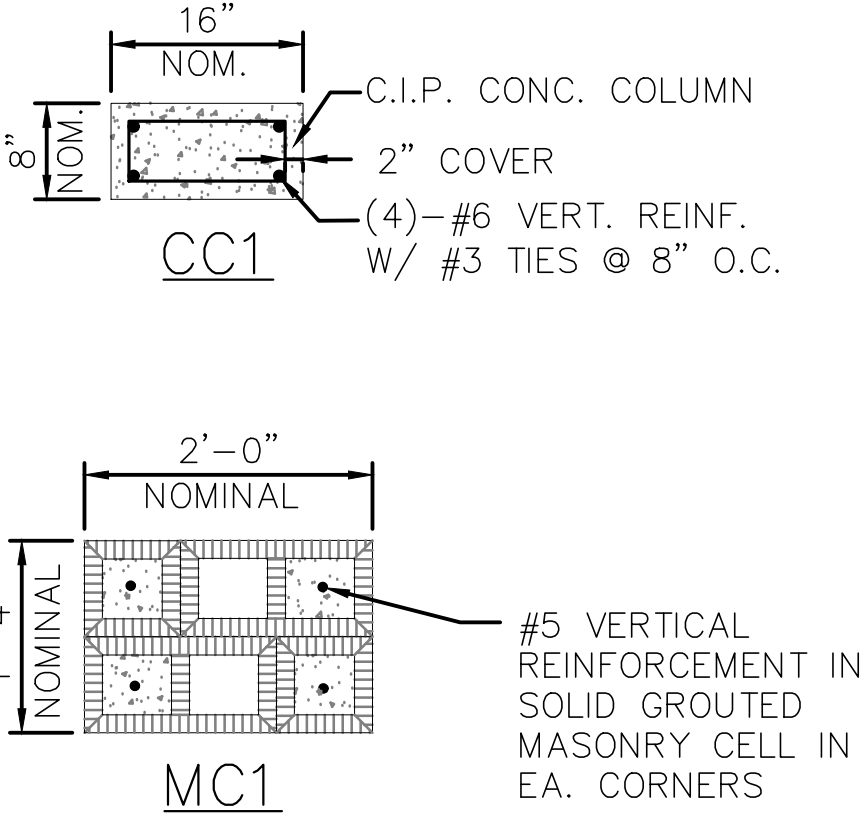
S1



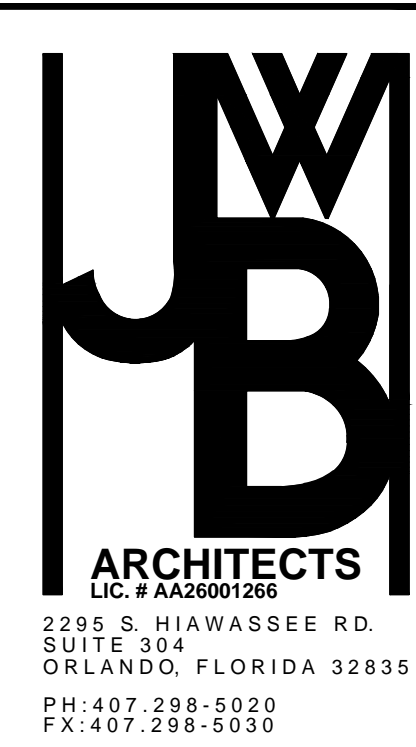
1 FOUNDATION PLAN
S1.1 SCALE: 1/8"

FOUNDATION SCHEDULE				
MARK	SIZE	DEPTH	REINFORCEMENT	T.O. FTG.
TE1	0'-8" CONT.	0'-8"	1-#5 REINF.CONTINUOUS	100'-0"
F2	2'-0" SQ.	1'-0"	3-#5 REINF. E.W. BOT.	99'-0"
F2.4	2'-0" x 4'-0"	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F3.5	3'-0" x 5'-0"	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F4	4'-0" SQ.	1'-0"	#5 REINF. @ 12" O.C. E.W. BOT.	99'-0"
F5	5'-0" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
F54	5'-4" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
F6	6'-0" SQ.	1'-4"	#5 REINF. @ 10" O.C. E.W. BOT.	99'-0"
WF1	2'-0" CONT.	1'-0"	3-#5 CONTINUOUS	98'-8"
WF2	3'-0" CONT.	1'-0"	4-#5 CONTINUOUS	98'-8"
WF3	4'-0" CONT.	1'-0"	5-#5 CONTINUOUS	98'-8"

COLUMN SCHEDULE



LAKE COUNTY BUILDING SERVICES
This document must be on jobsite for inspections.
This document was reviewed for code compliance; this does not relieve the applicant from correcting errors and omissions and complying with the current Florida Building Code.



Owner:
ALI JAWAD

FOUNDATION PLAN
PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

Architect of Record:
John W. Burl - JWB0163

Revisions:

Date: 06-05-2019
Drawn By: RR
Checked By: JWB


Project No:

Sheet No:

S1.1




S2


LAKE COUNTY, FL
 REAL FLORIDA • REAL FLORIDA
 REAL FLORIDA • REAL FLORIDA



NOTES:

-
- The diagram illustrates a cross-section of a lintel assembly. The main components and dimensions are as follows:
- Lintel Section:** A rectangular section with a nominal width of 16" and a nominal height of 16". The actual height is noted as 15 5/8".
 - Rebar Details:**
 - Top Rebar:** Labeled "QUANTITY OF #5 REBAR AT TOP". The diagram shows 1 rebar.
 - Bottom Rebar:** Labeled "QUANTITY OF #5 REBAR AT BOTTOM". The diagram shows 1 rebar.
 - Clearance:** A 1-1/2" clearance is shown between the top rebar and the top of the lintel.
 - Rebar Spacing:** The rebar is spaced at 16" O.C. (On Center).
 - Grout:** The space between the rebar is filled with grout.
 - Dimensions:**
 - NOMINAL WIDTH:** 16"
 - NOMINAL HEIGHT:** 16"
 - ACT. HEIGHT:** 15 5/8"
 - ACT. WIDTH:** 7 5/8"
 - Rebar Label:** The rebar is labeled "8F16-1B/1T", where "F" stands for "FILLED WITH GROUT" and "U" stands for "UNFILLED".



JWB
ARCHITECTS
LIC. # AA26001266

2295 S. HIAWASSEE RD.
SUITE 304
ORLANDO, FLORIDA 32835
PH: 407.298-5020
FX: 407.298-5030

ner:

ALI JAWAD

ROOF FRAMING PLAN

PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

Architect of Record:
John W. Burt - AR93163

Revisions:

Date: 6-05-2019

Drawn By:
RR

Checked By:
JWB

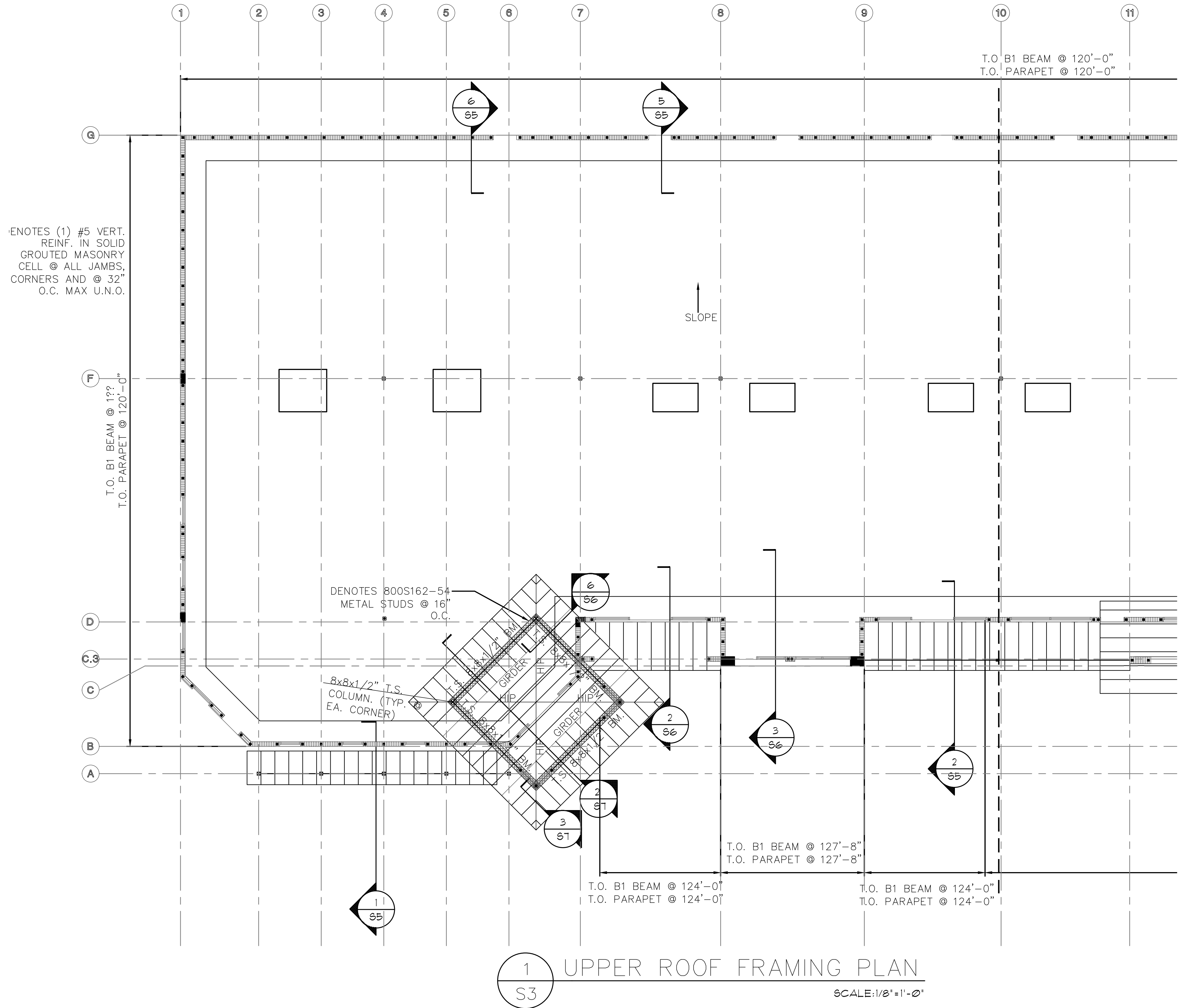
Project No.

Sheet No.

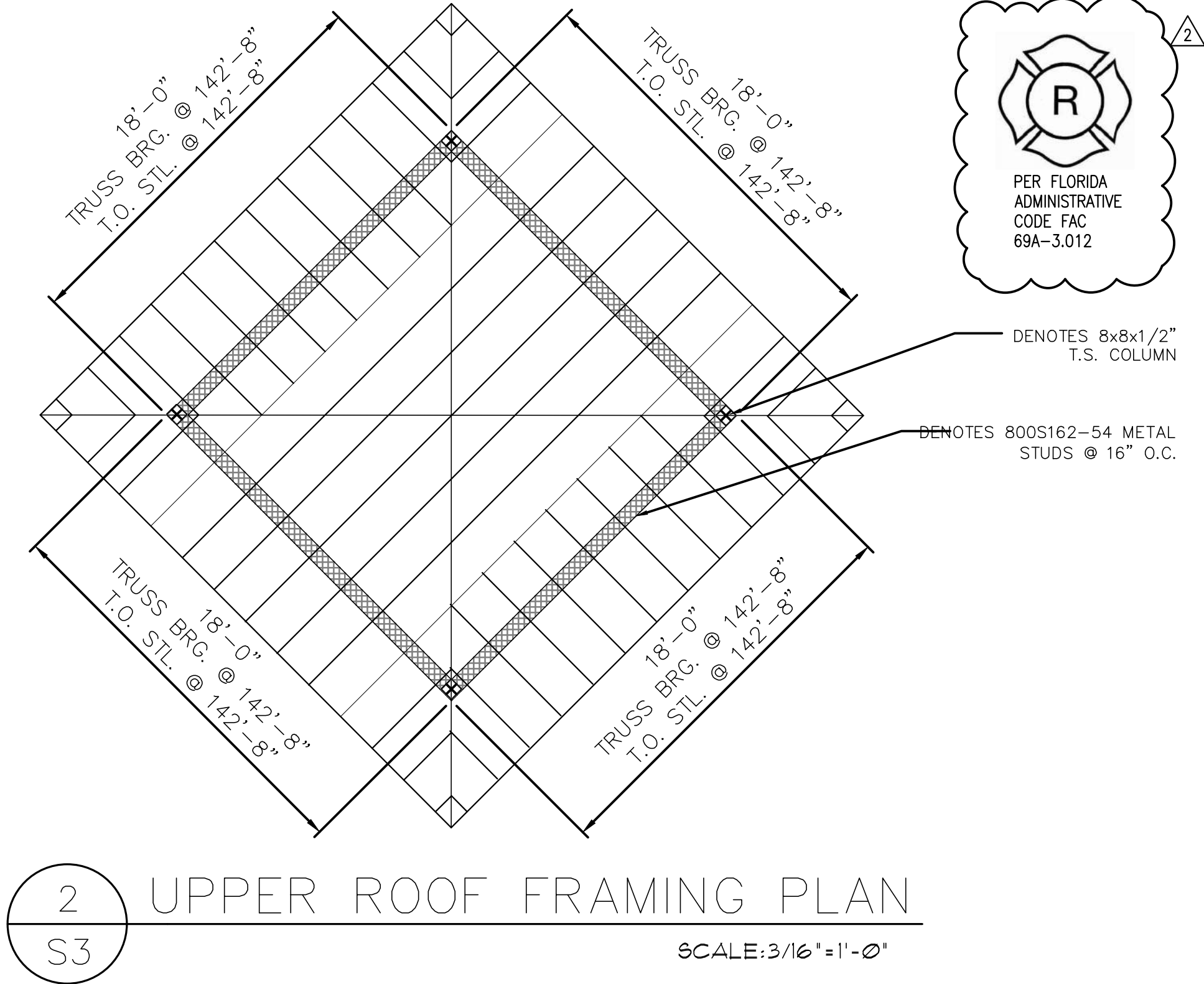
S2.1



LAKE COUNTY BUILDING SERVICES
 This document must be on jobsite for inspections.
 This document was reviewed for code compliance; this does
 not relieve the applicant from correcting errors and omissions
 and complying with the current Florida Building Code.



1 UPPER ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



2 UPPER ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



JWB
ARCHITECTS
LIC. # AA26001266
2295 S. HIAWASSEE RD.
SUITE 304
ORLANDO, FLORIDA 32835
PH: 407.298-5020
FX: 407.298-5030

Owner:
ALI JAWAD

UPPER ROOF FRAMING/PARAPET PLAN
PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

Architect of Record:
John W. Burl - JWB0163

Revisions	
1	11-01-19-BLDG REVIEW CHANGES
2	03-19-21-BLDG REVIEW CHANGES

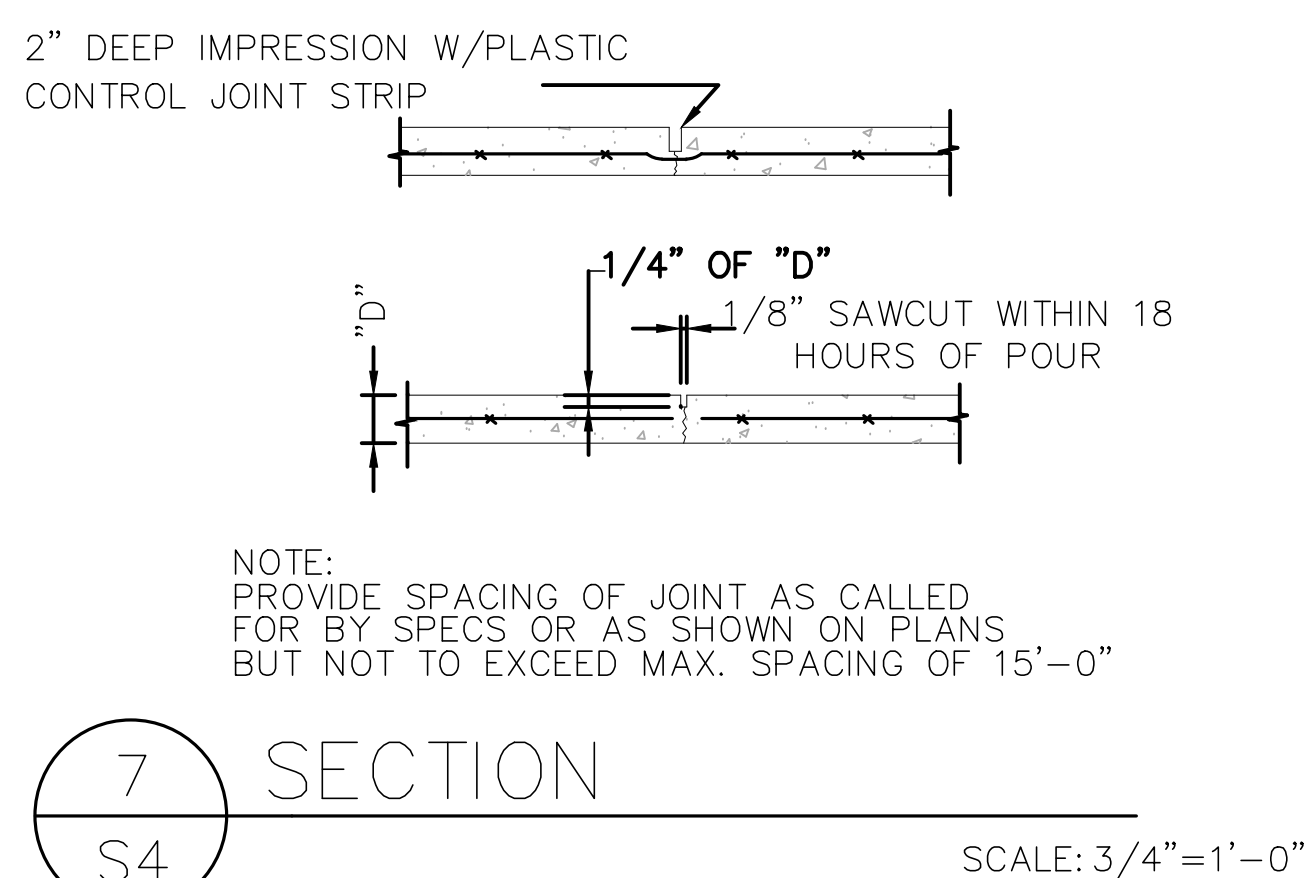
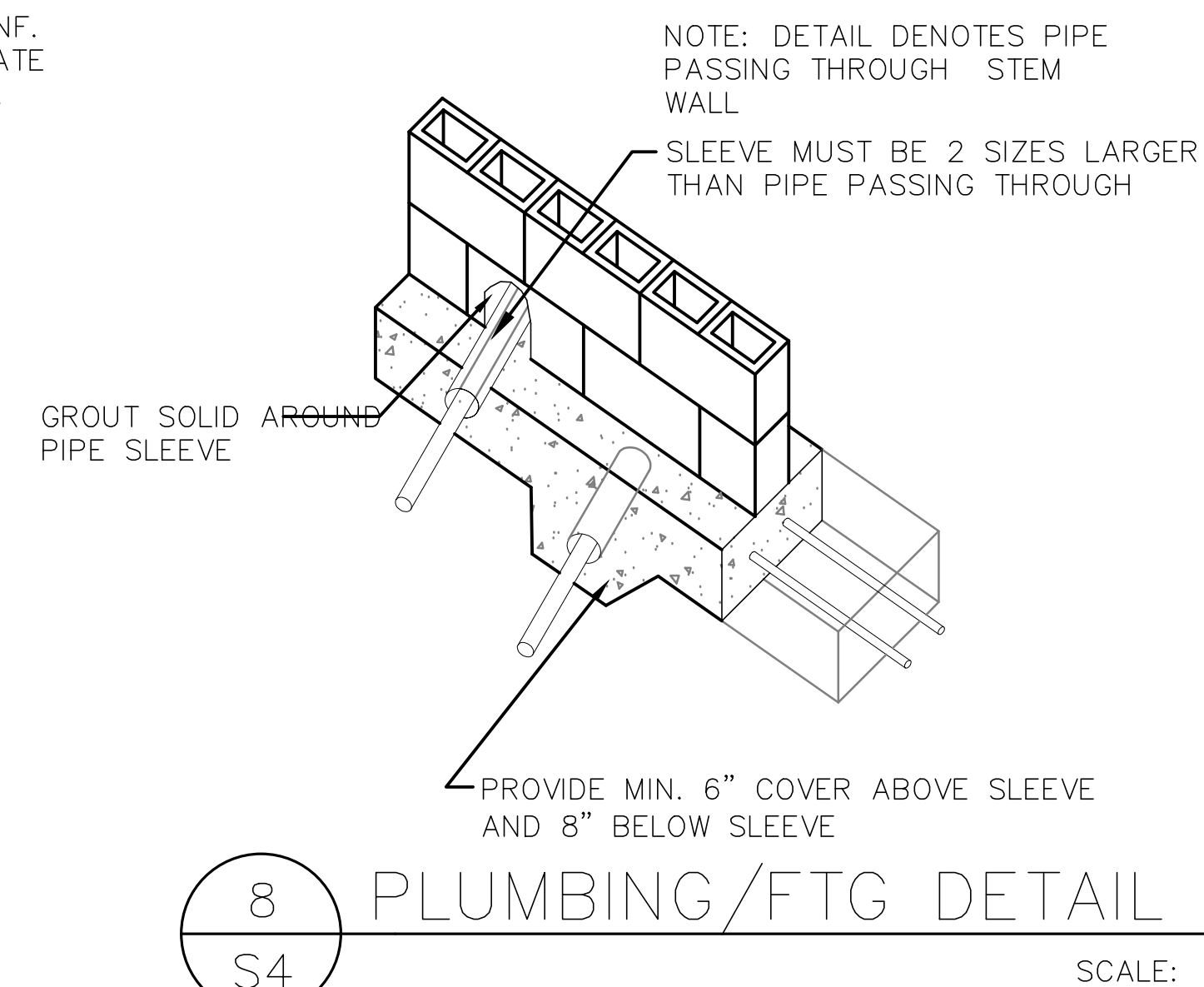
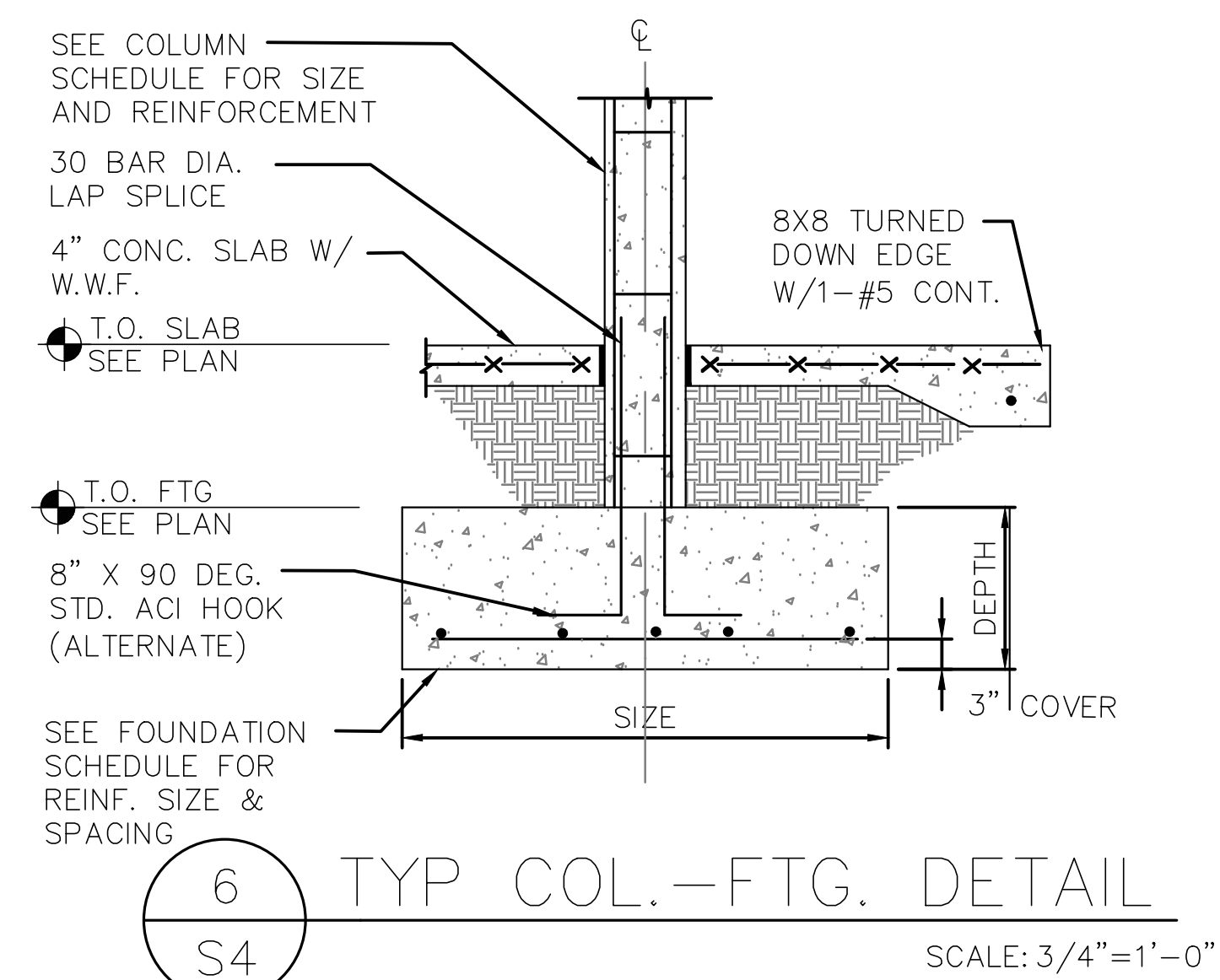
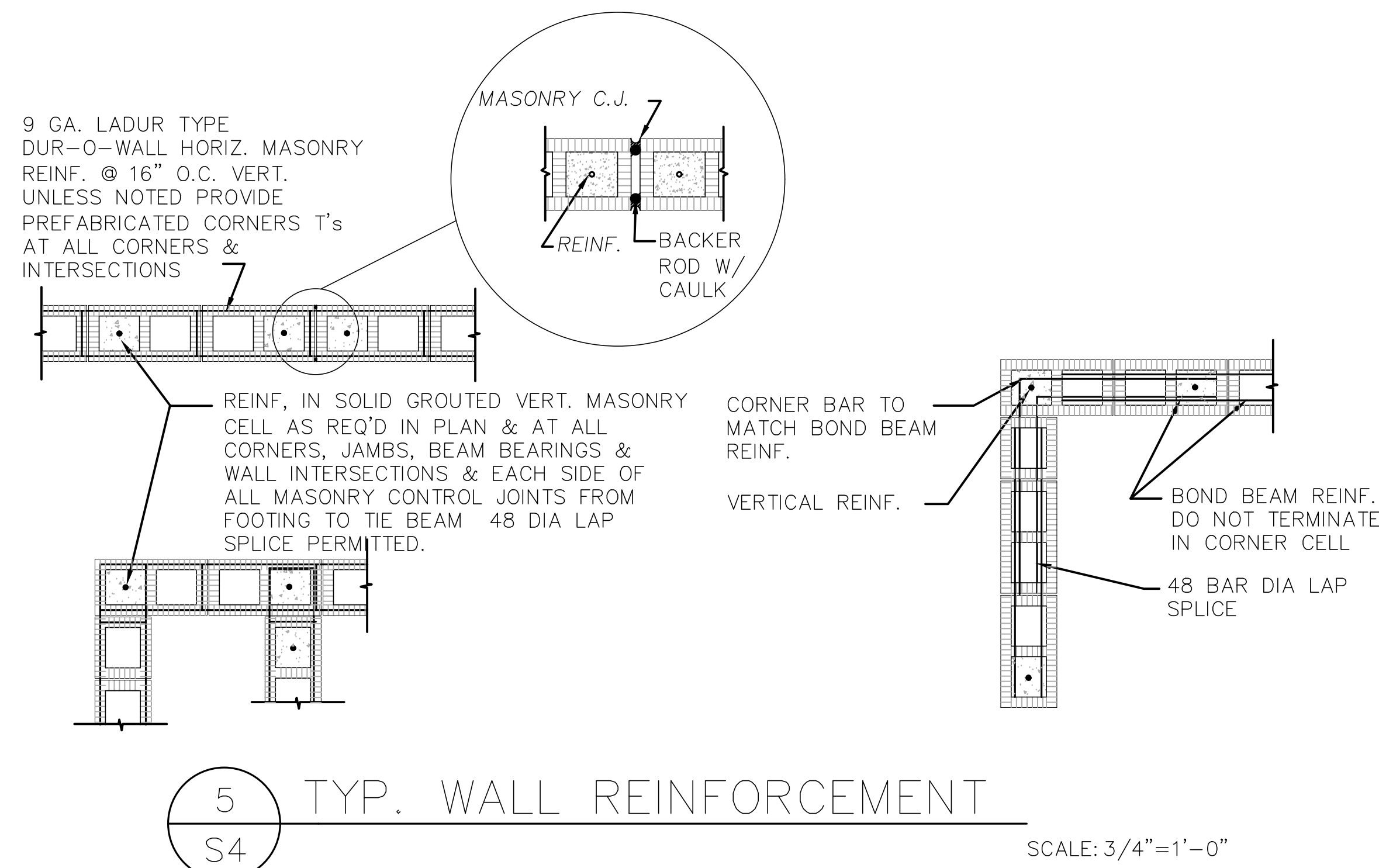
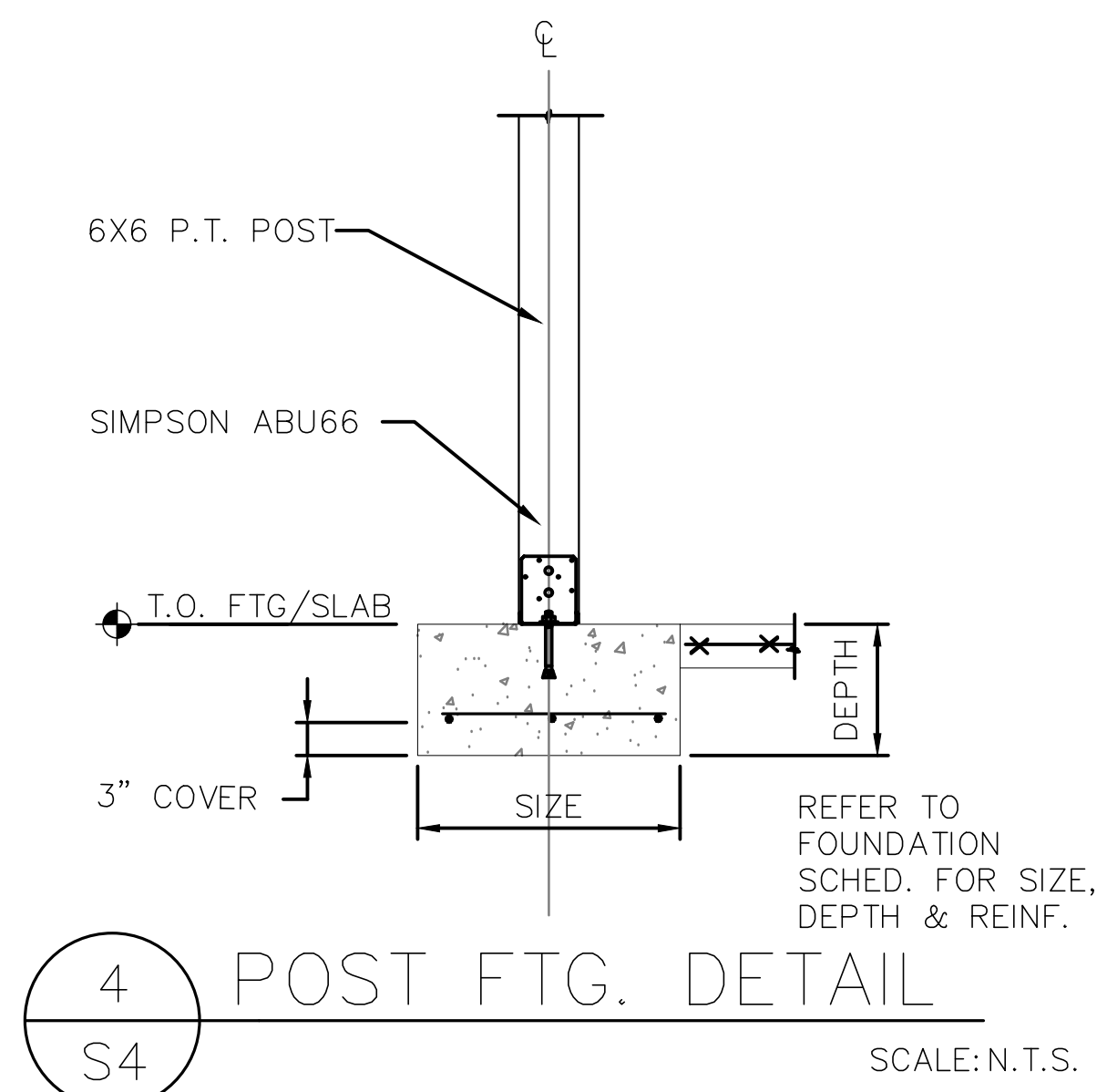
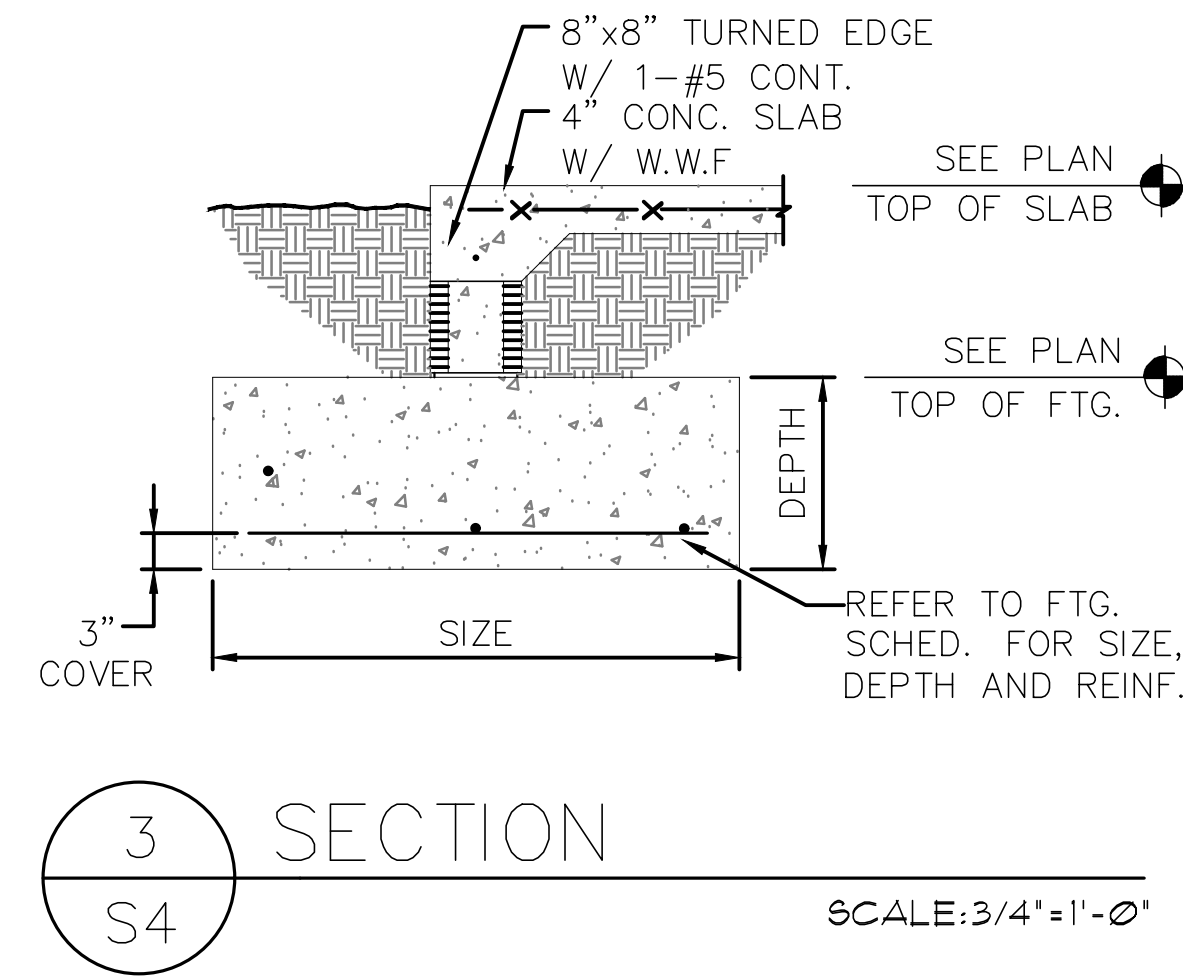
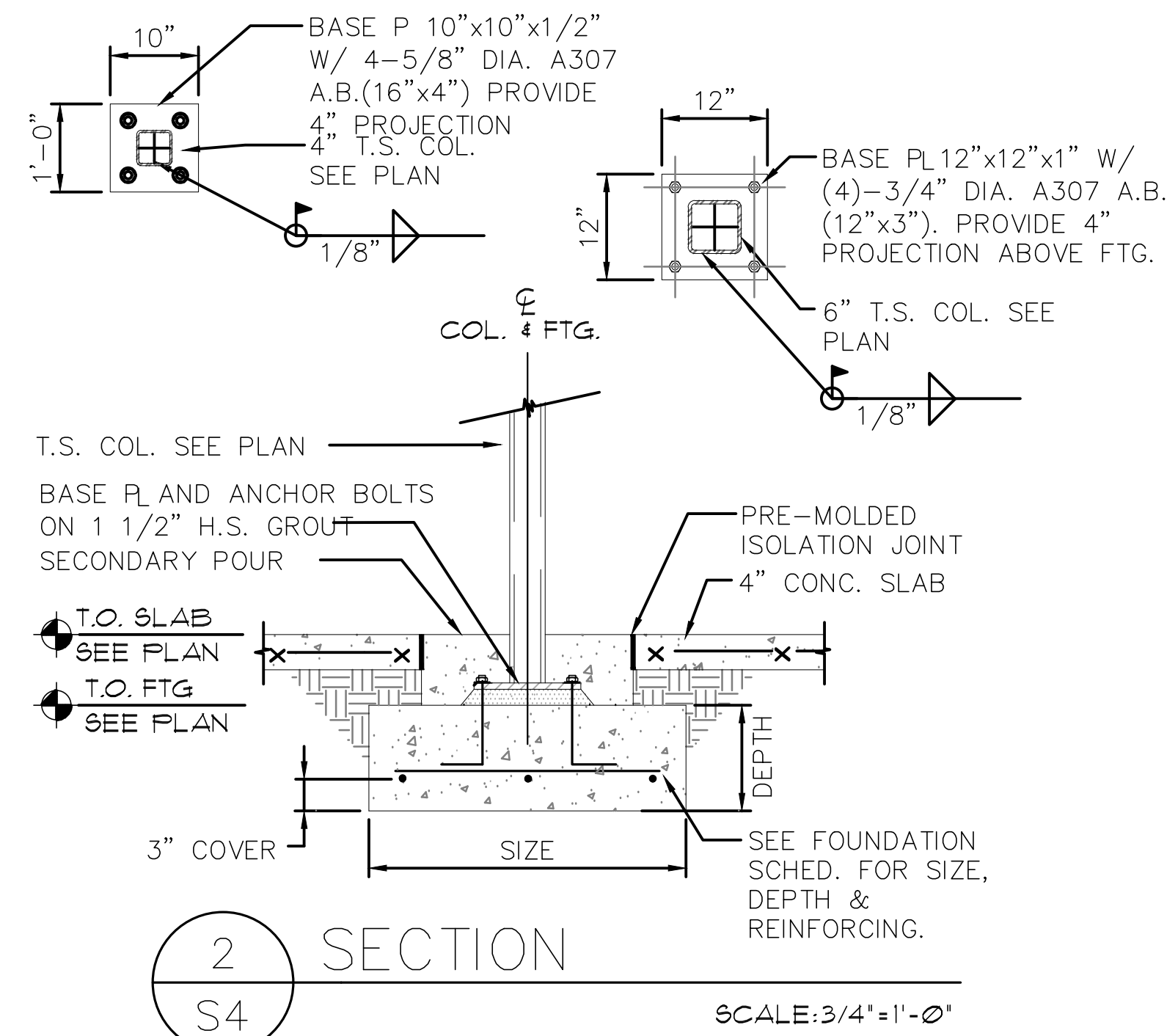
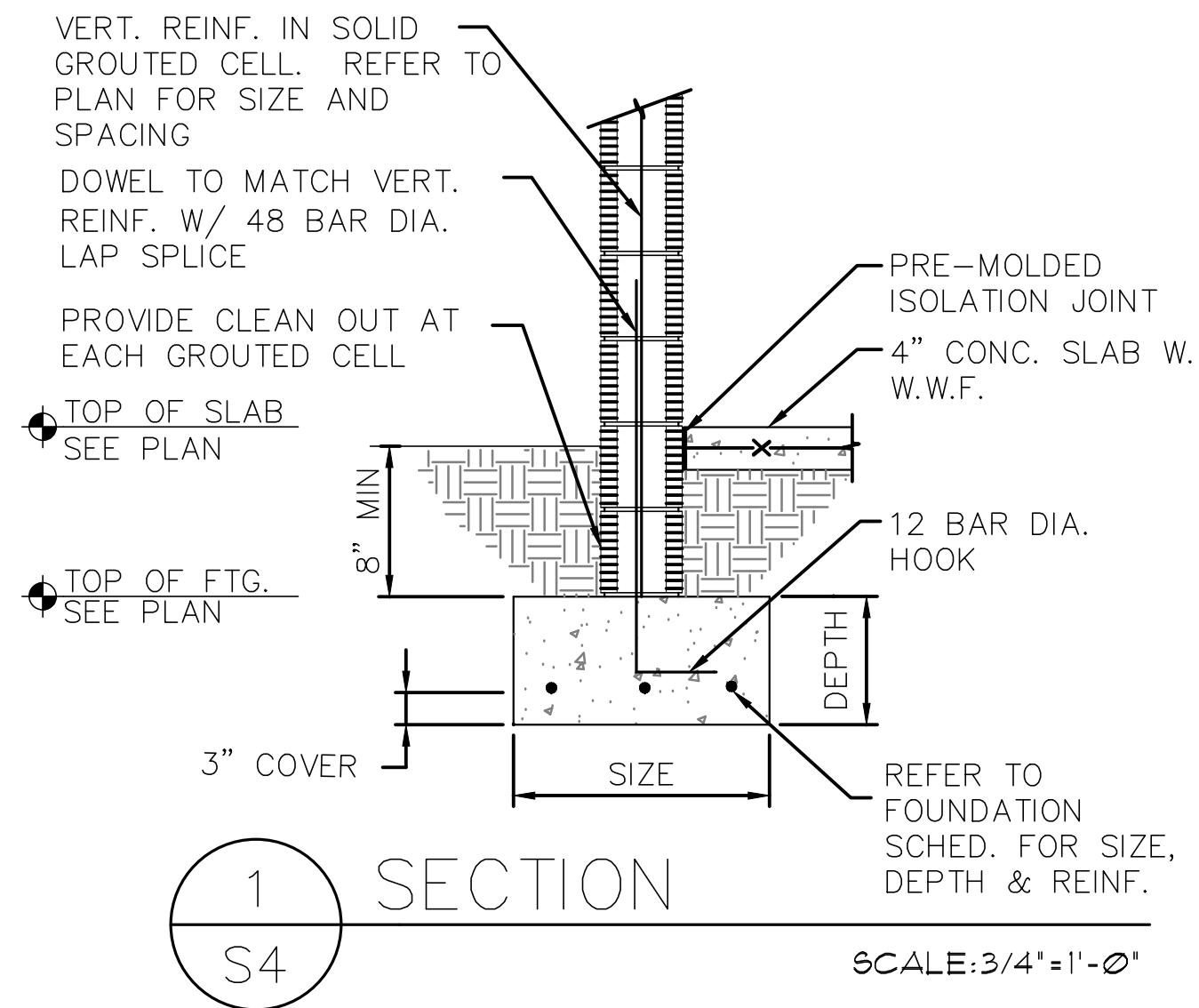
Date: 06-05-2019	Drawn By: RR	Checked By: JWB
---------------------	-----------------	--------------------

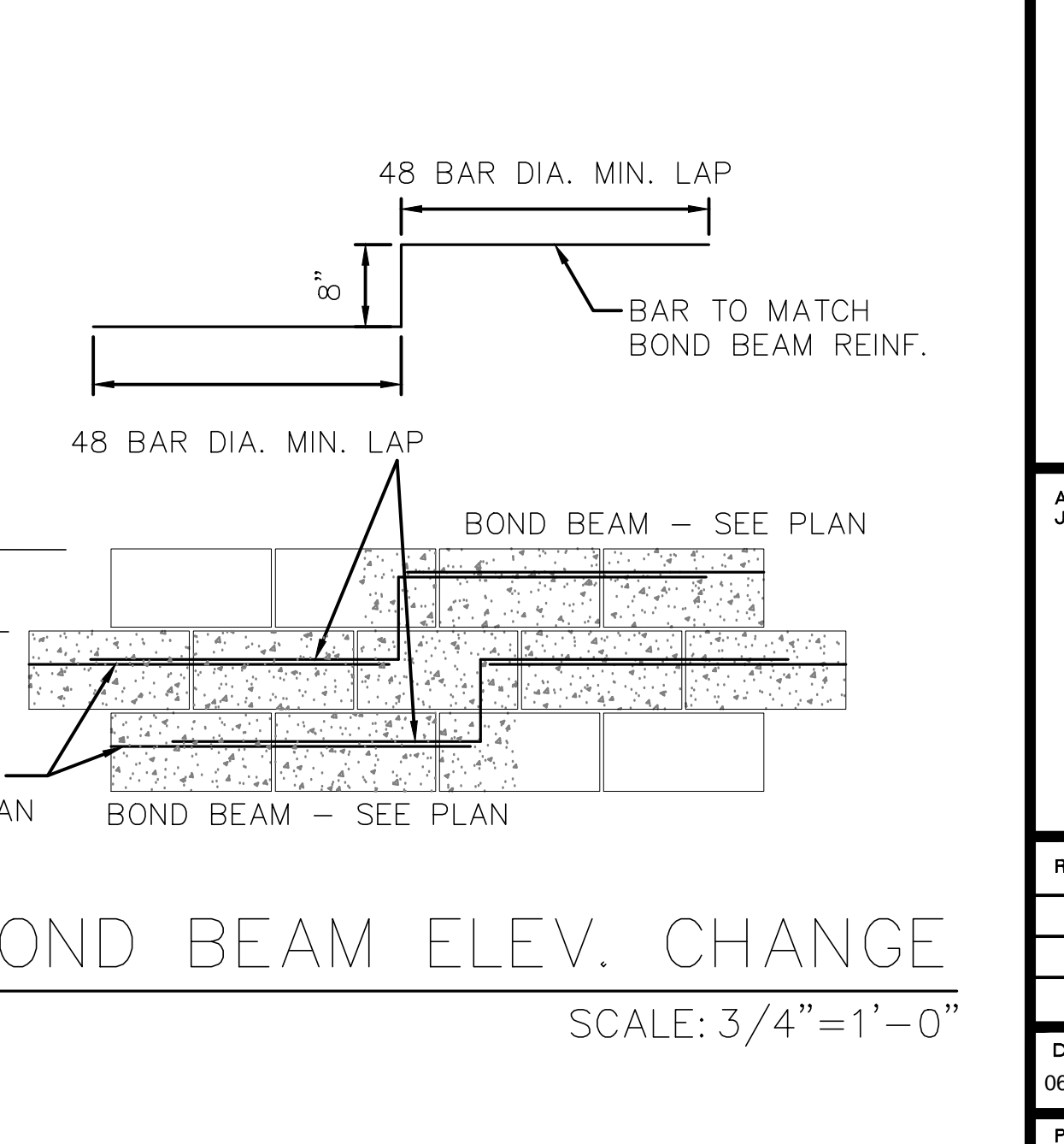
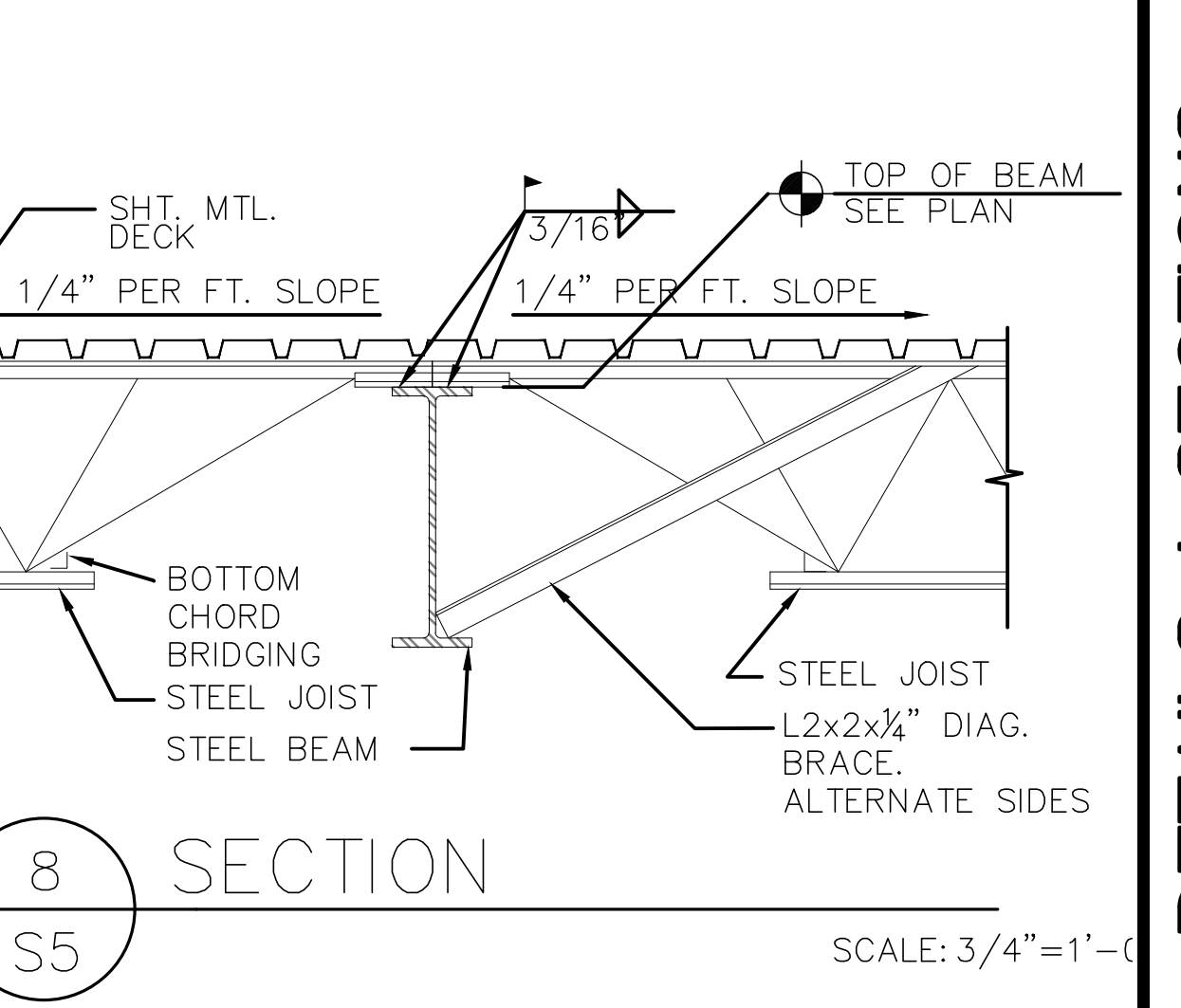
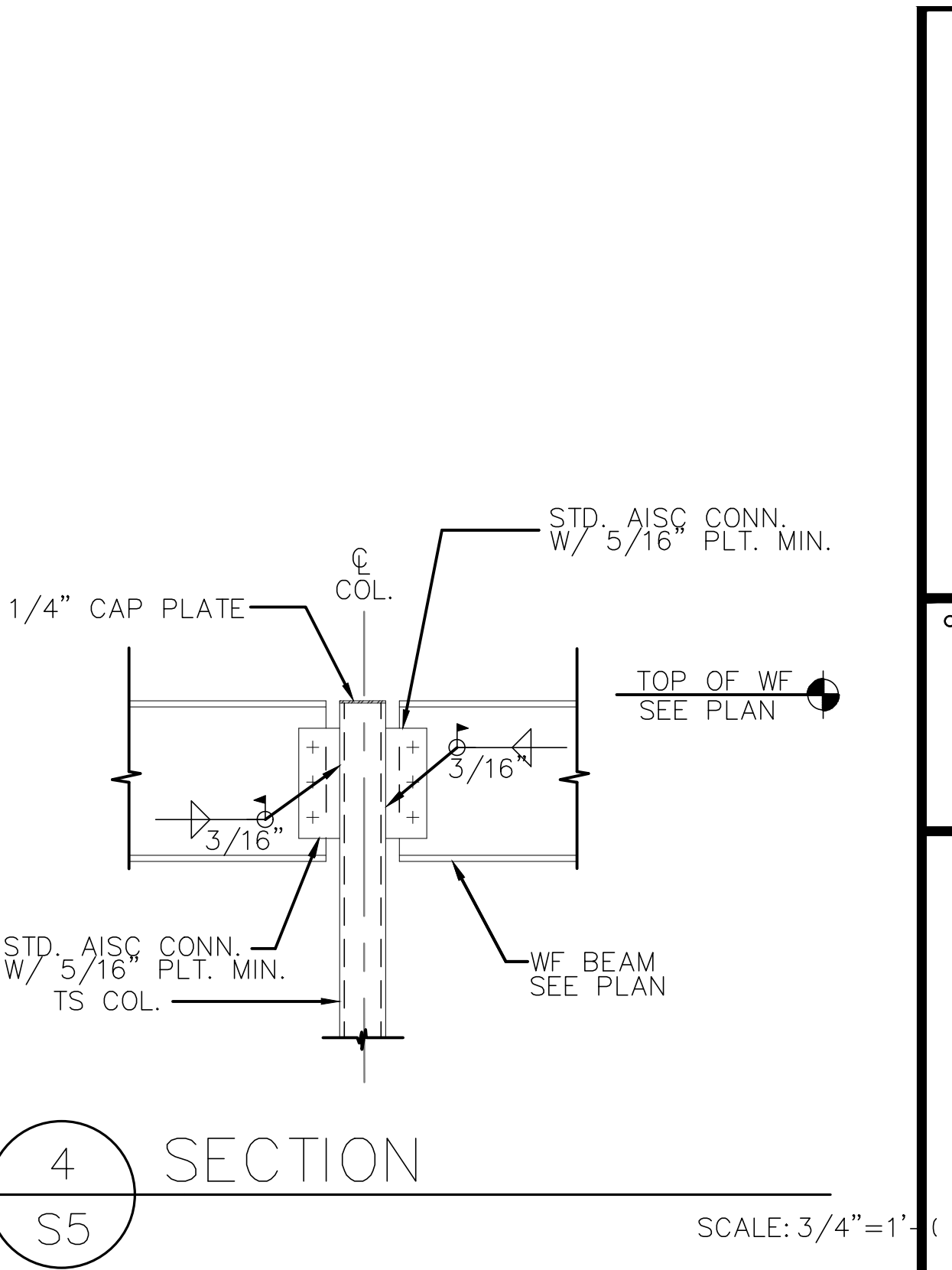
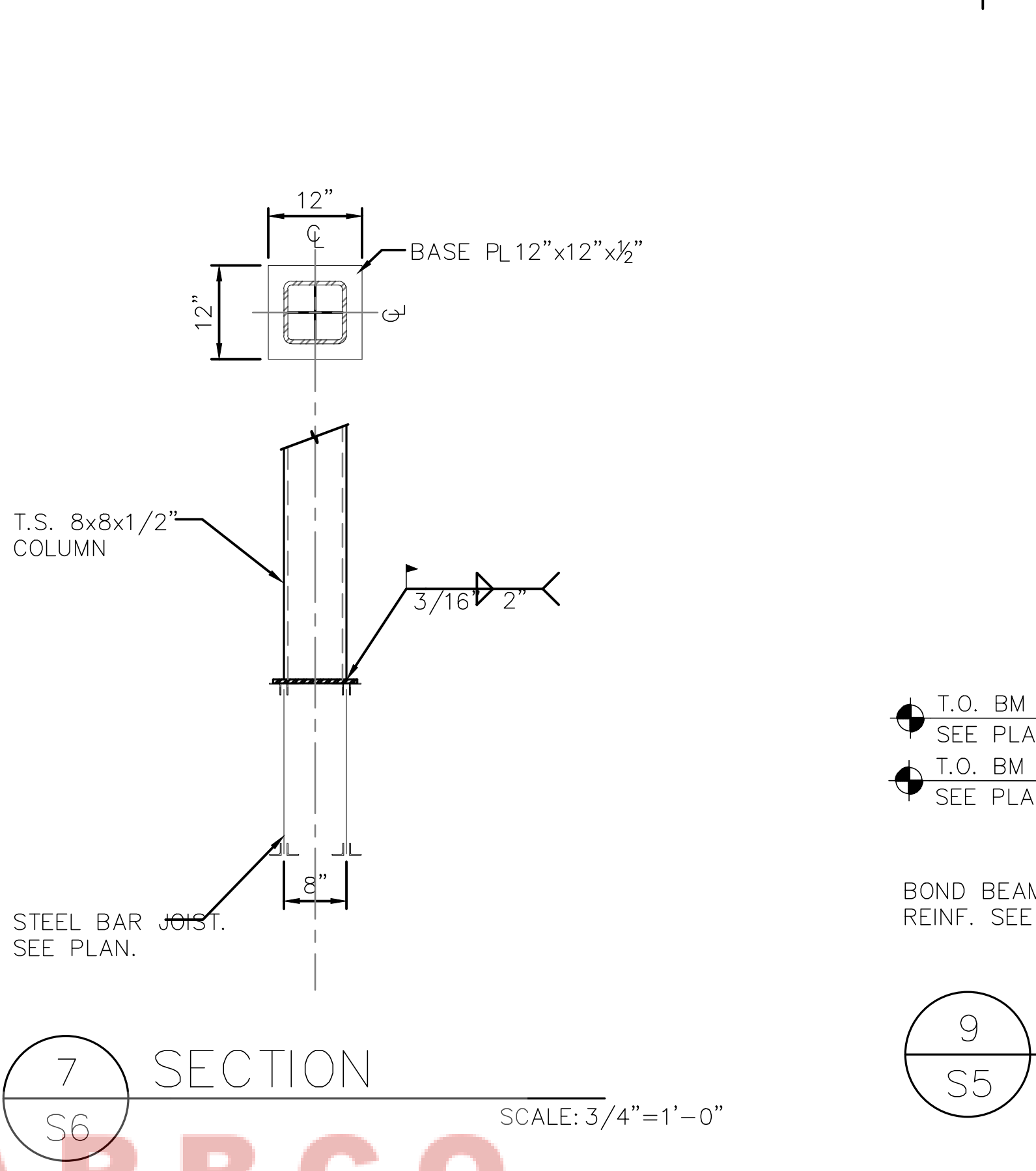
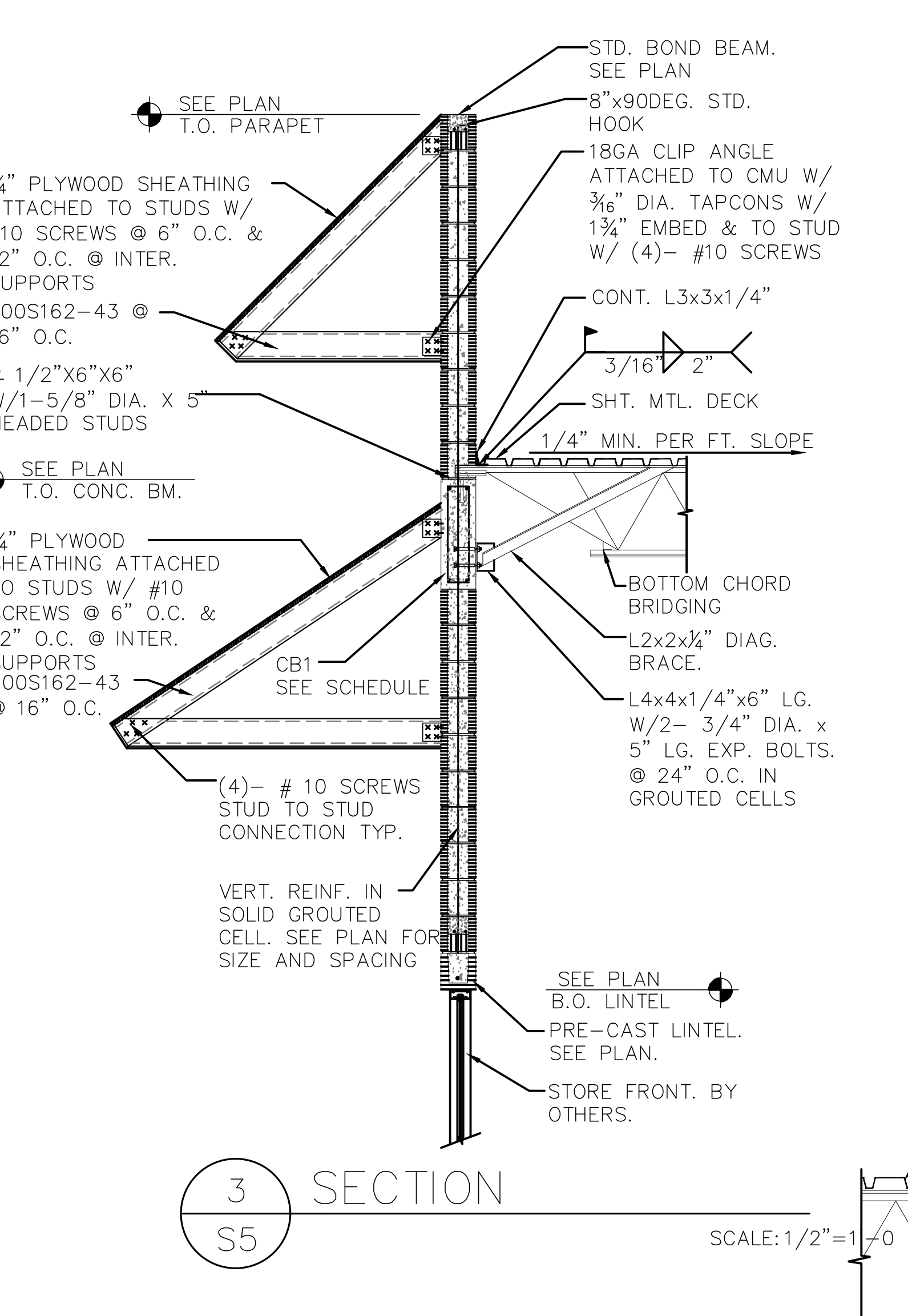
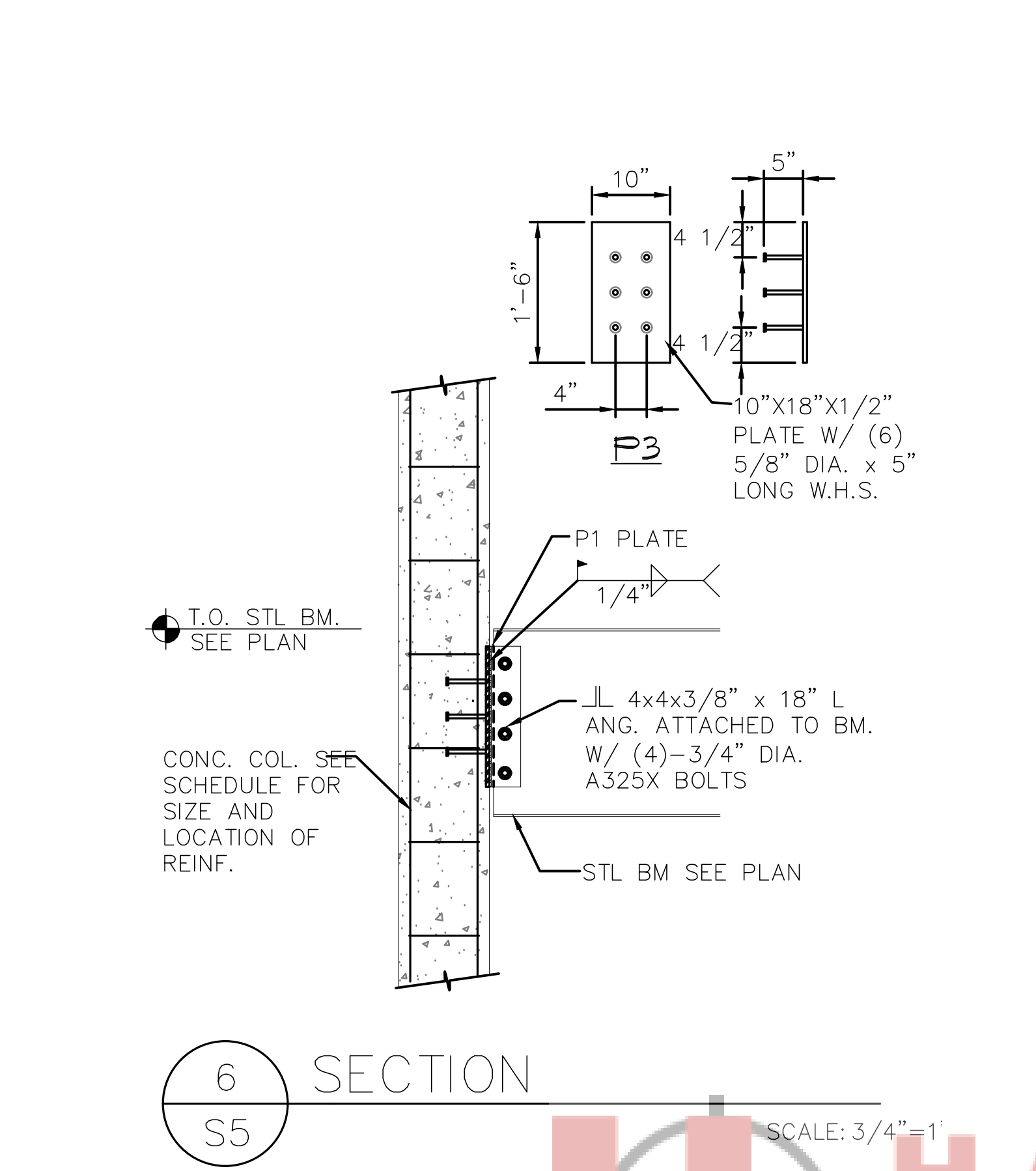
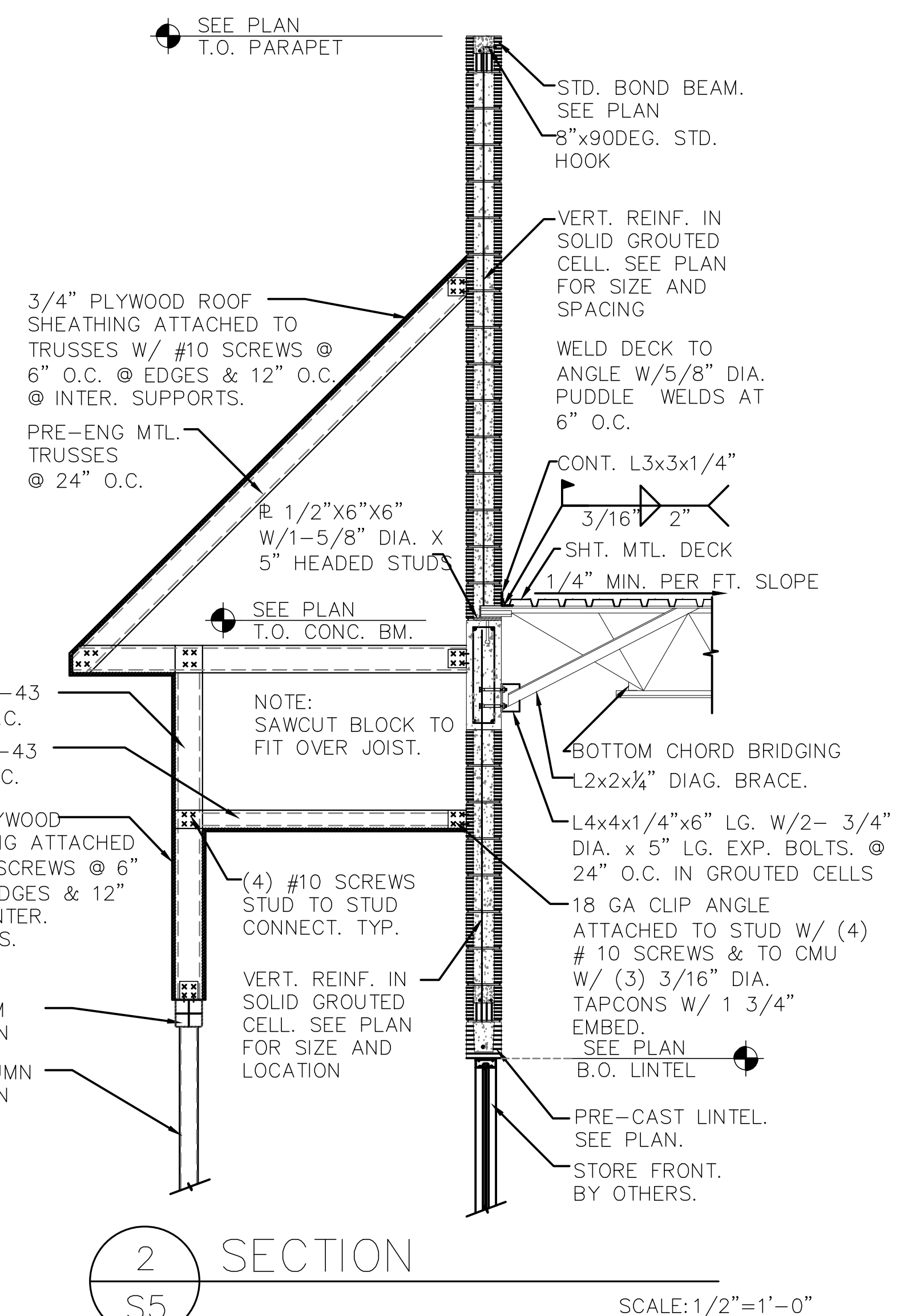
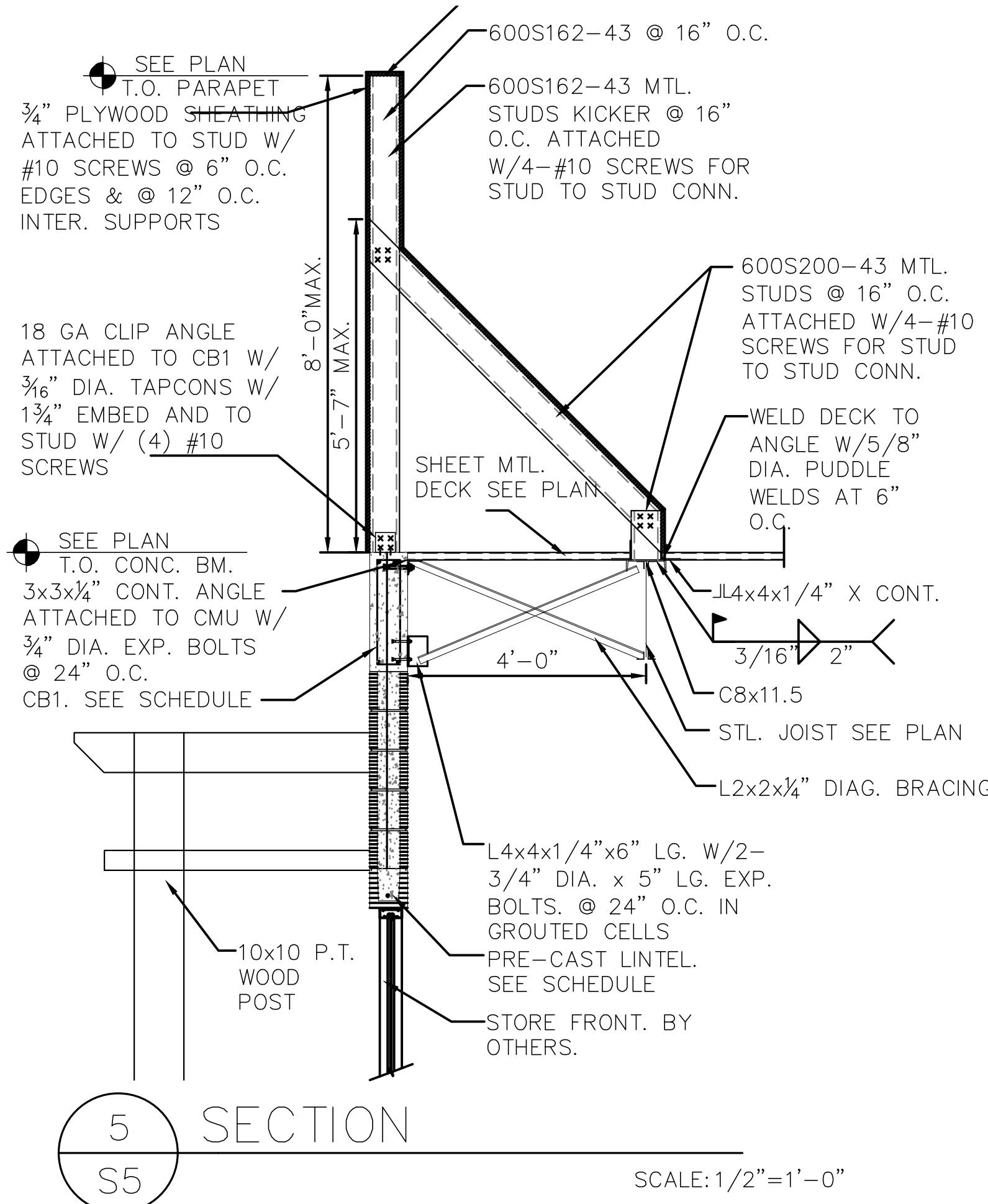
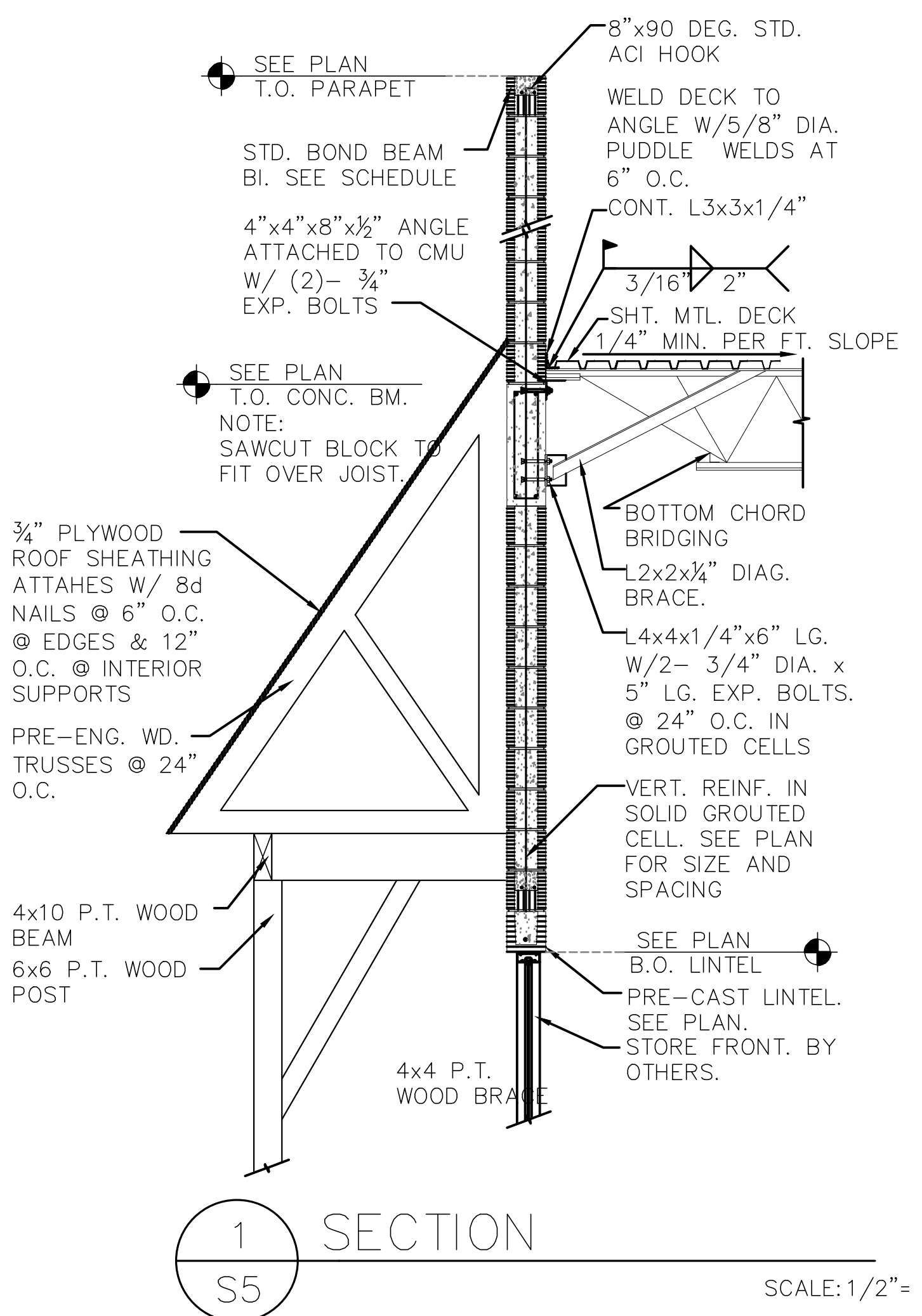
Project No.
19-019

Sheet No.
S3



LAKE COUNTY BUILDING SERVICES
This document must be on jobsite for inspections.
This document was reviewed for code compliance; this does not relieve the applicant from correcting errors and omissions and complying with the current Florida Building Code.







ARCHITECTS
LIC. # AA26001266
2295 S. HIAWASSEE RD.
SUITE 304
ORLANDO, FLORIDA 32835
PH: 407.298-5020
FX: 407.298-5030

Owner:

ALI JAWAD

DETAILS + SECTIONS

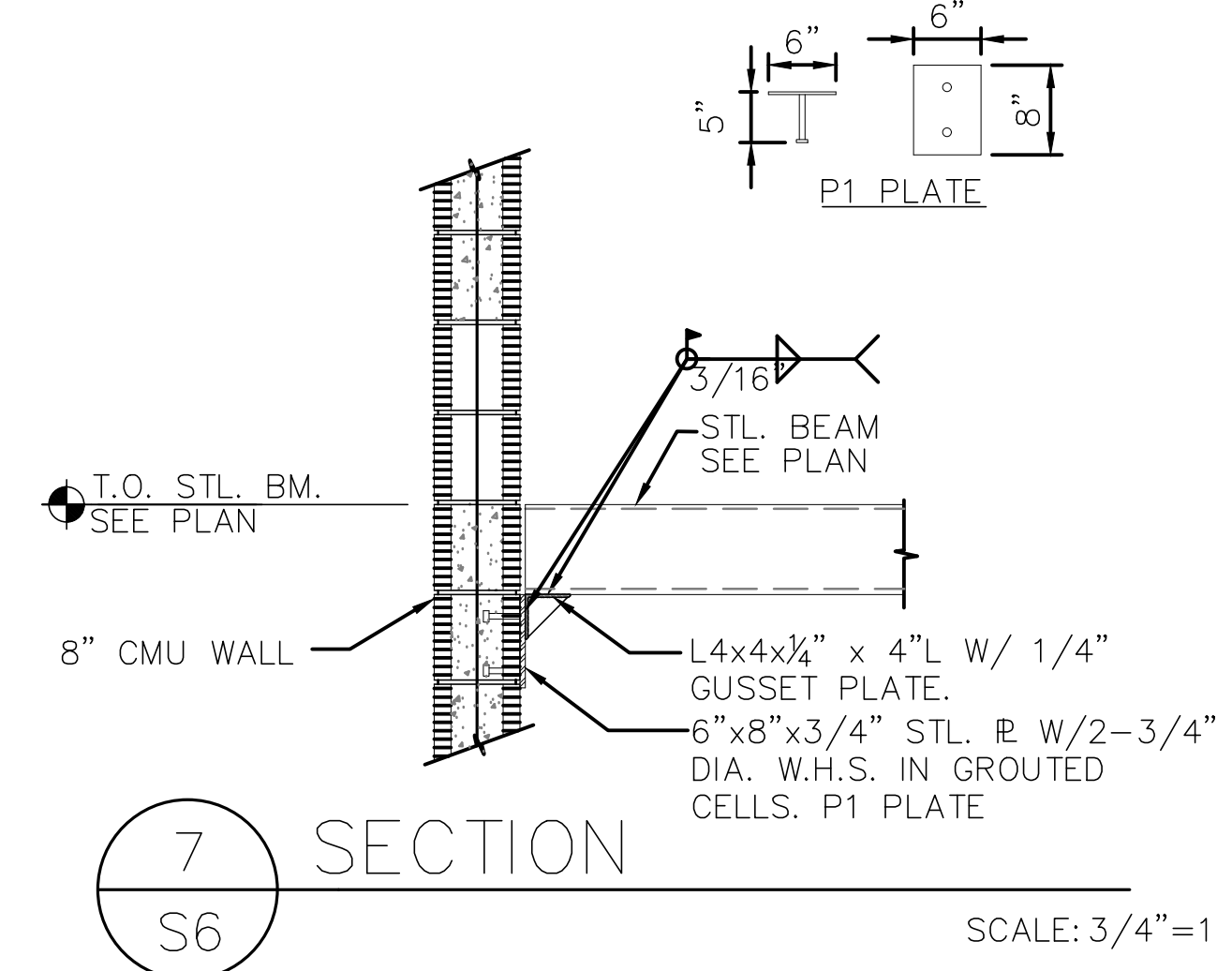
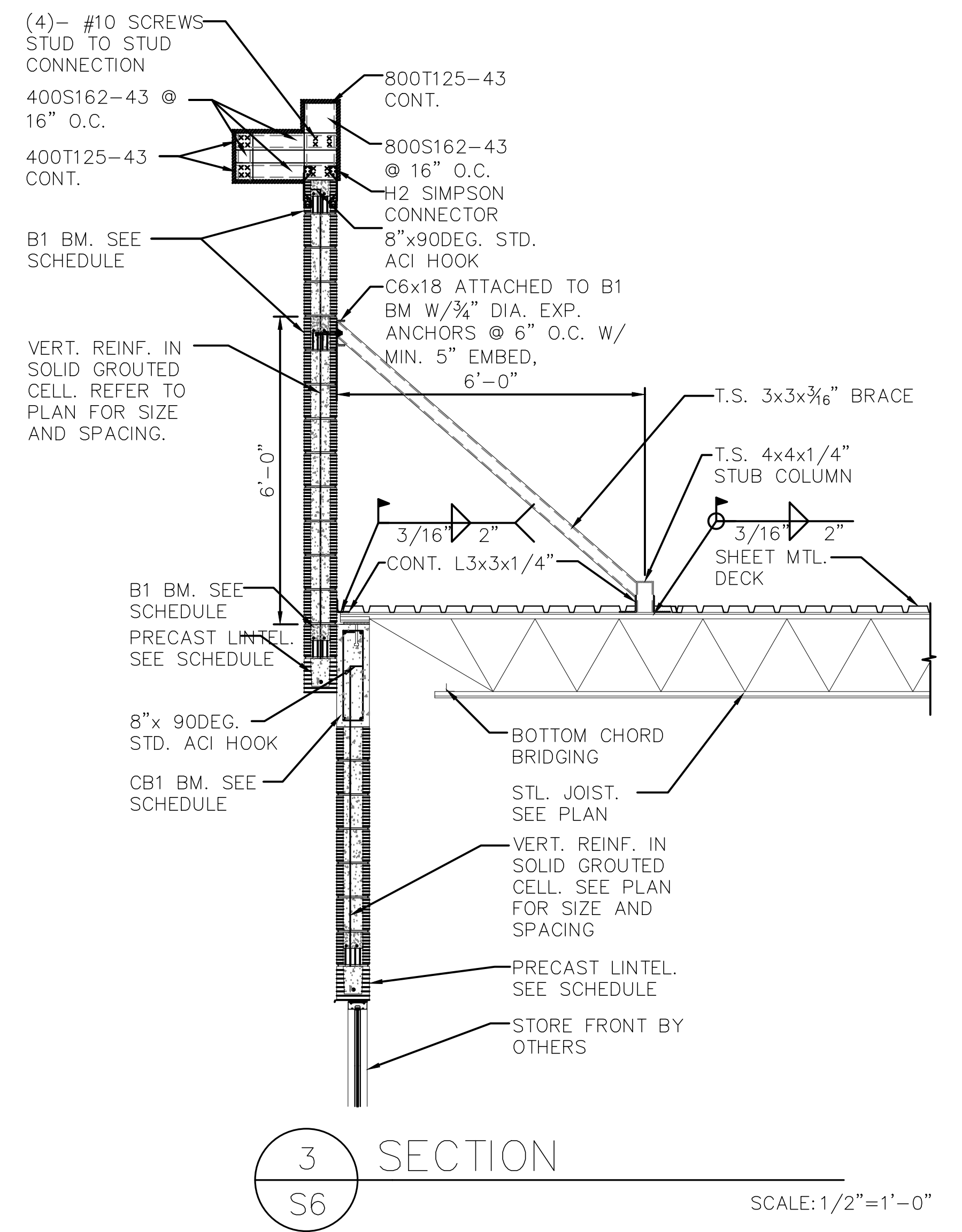
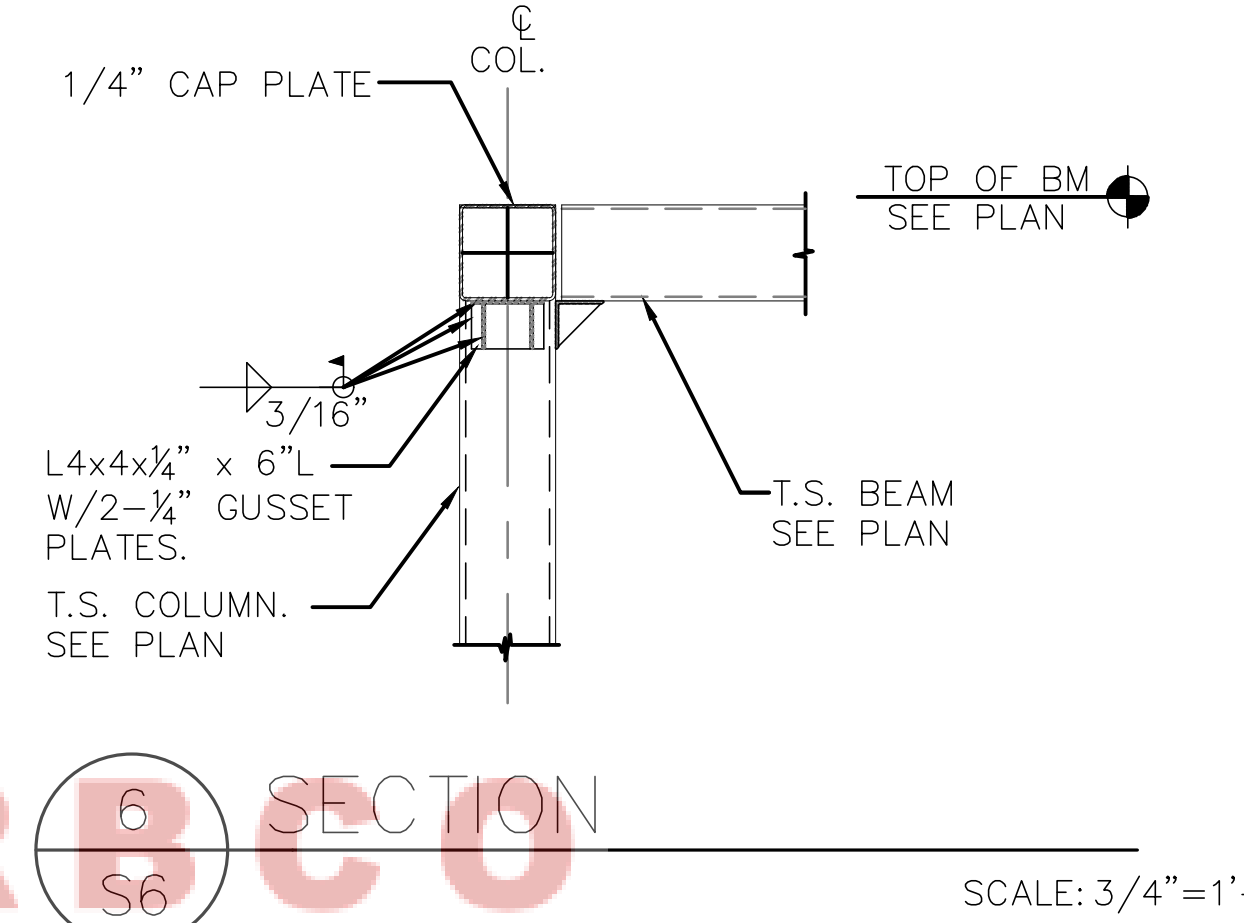
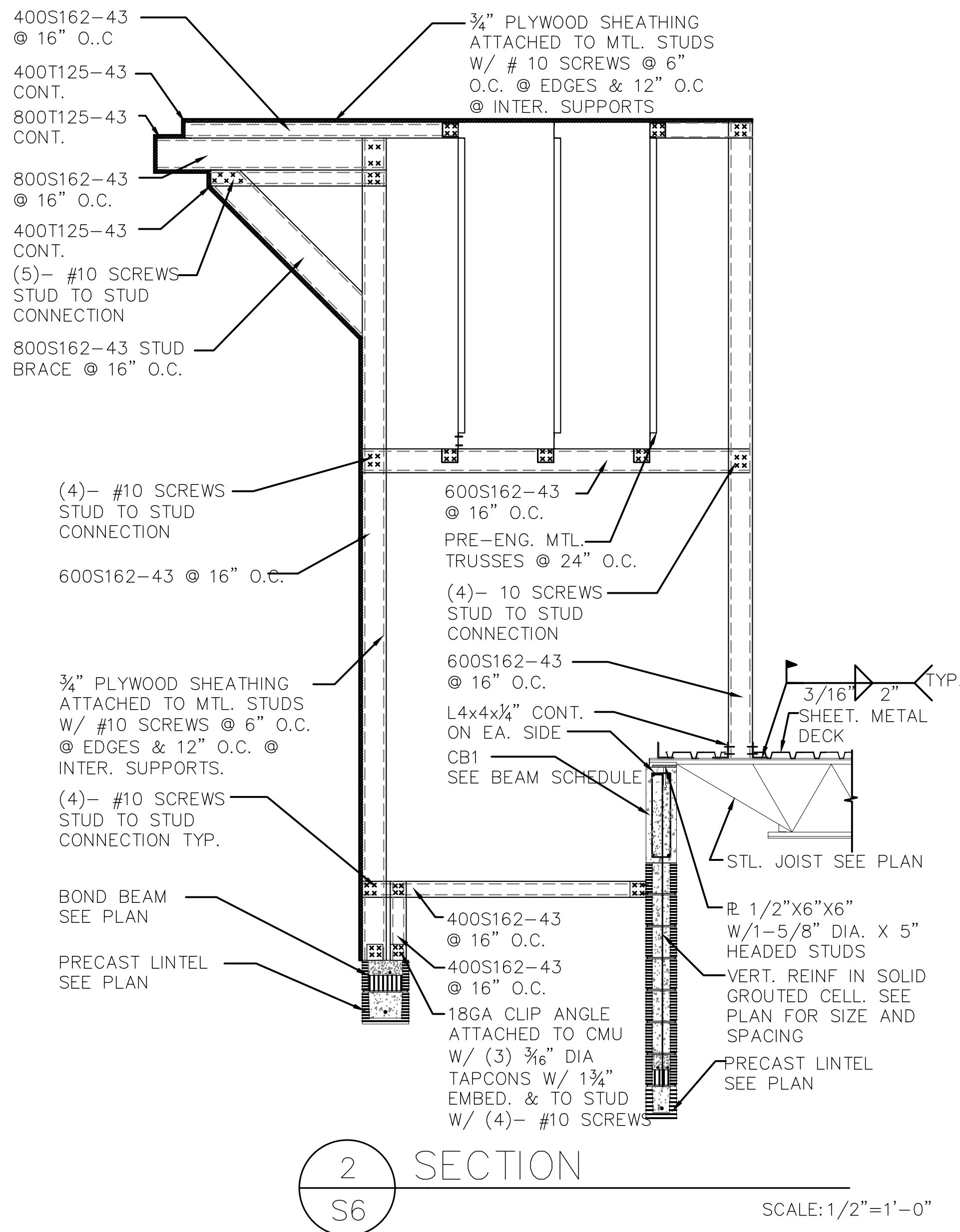
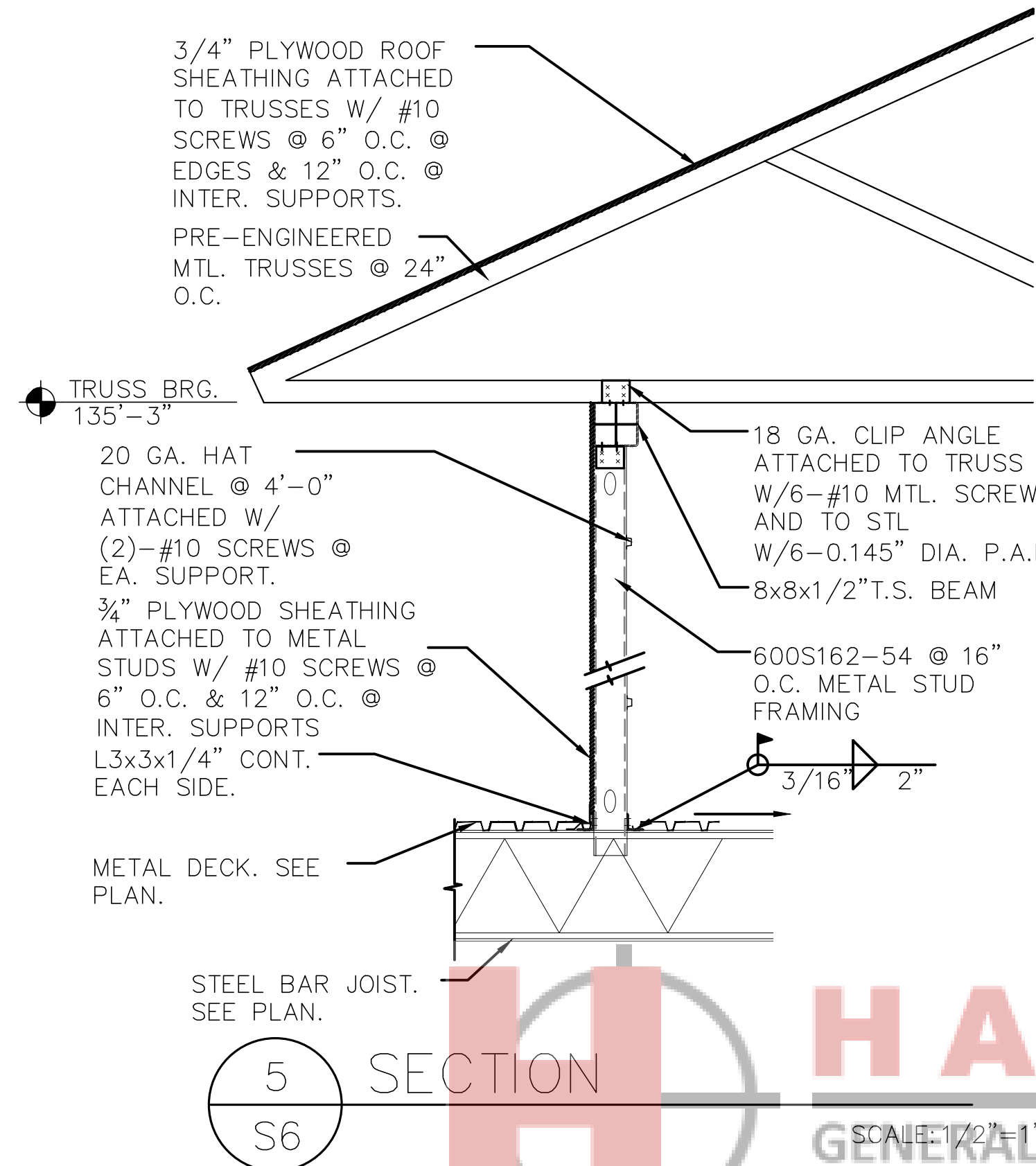
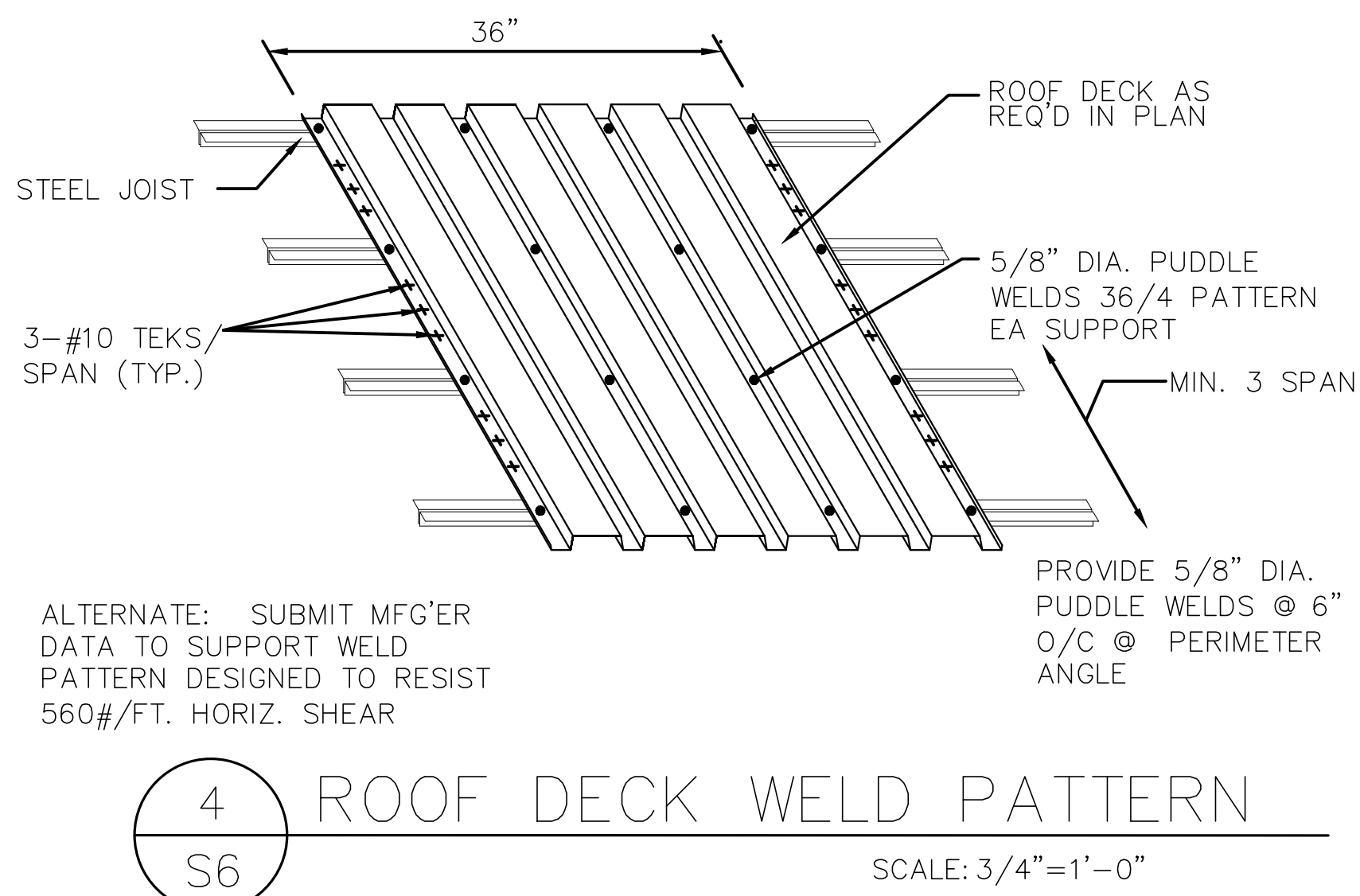
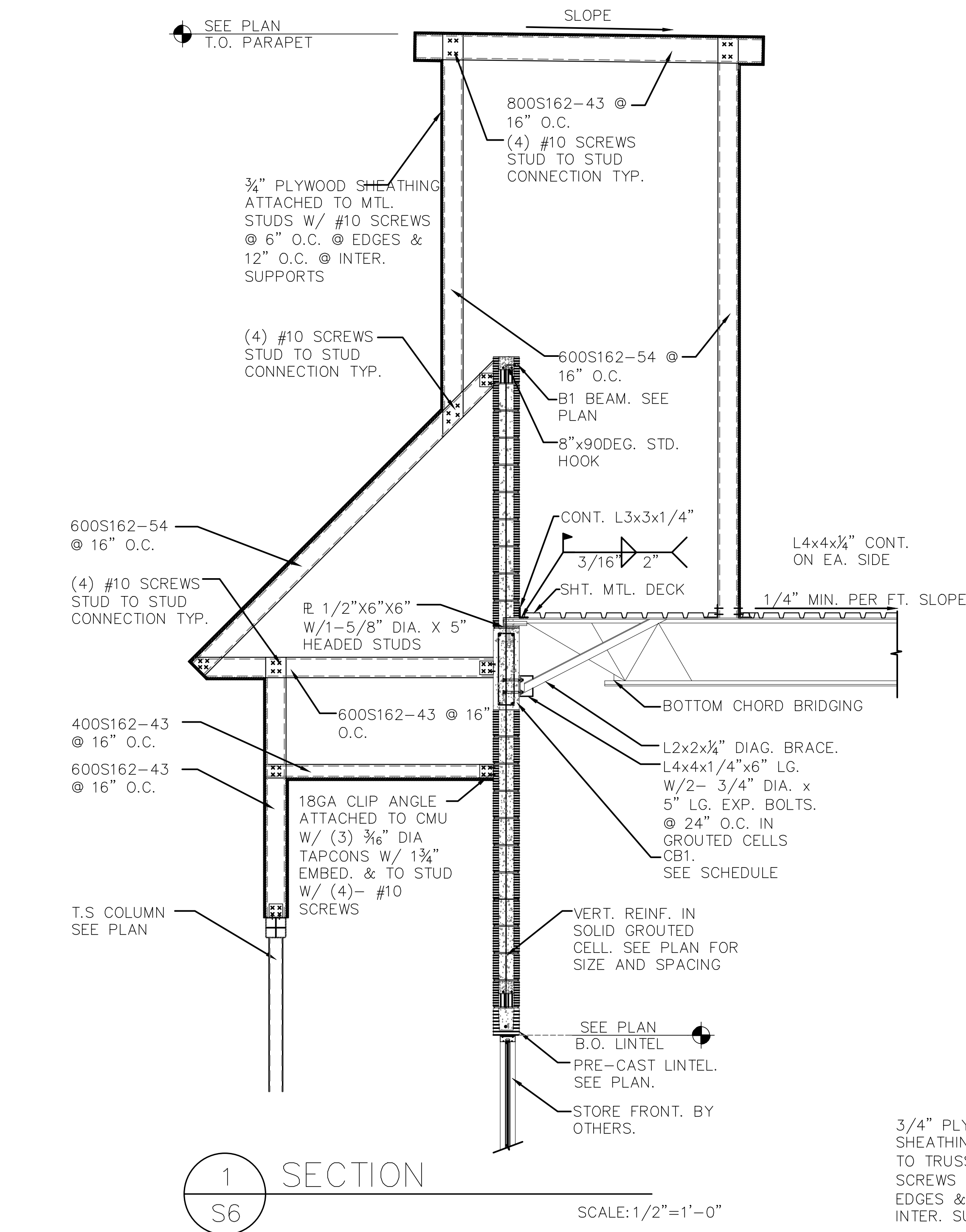
PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

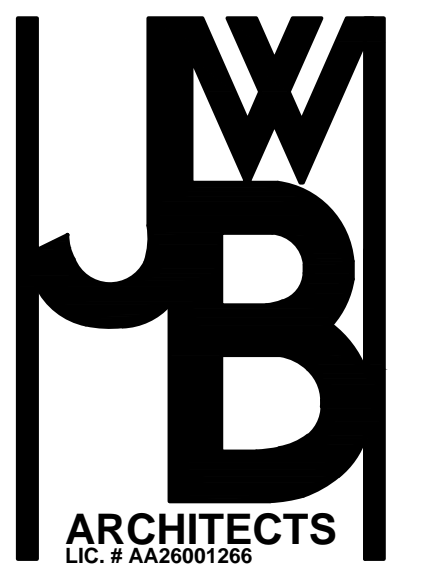
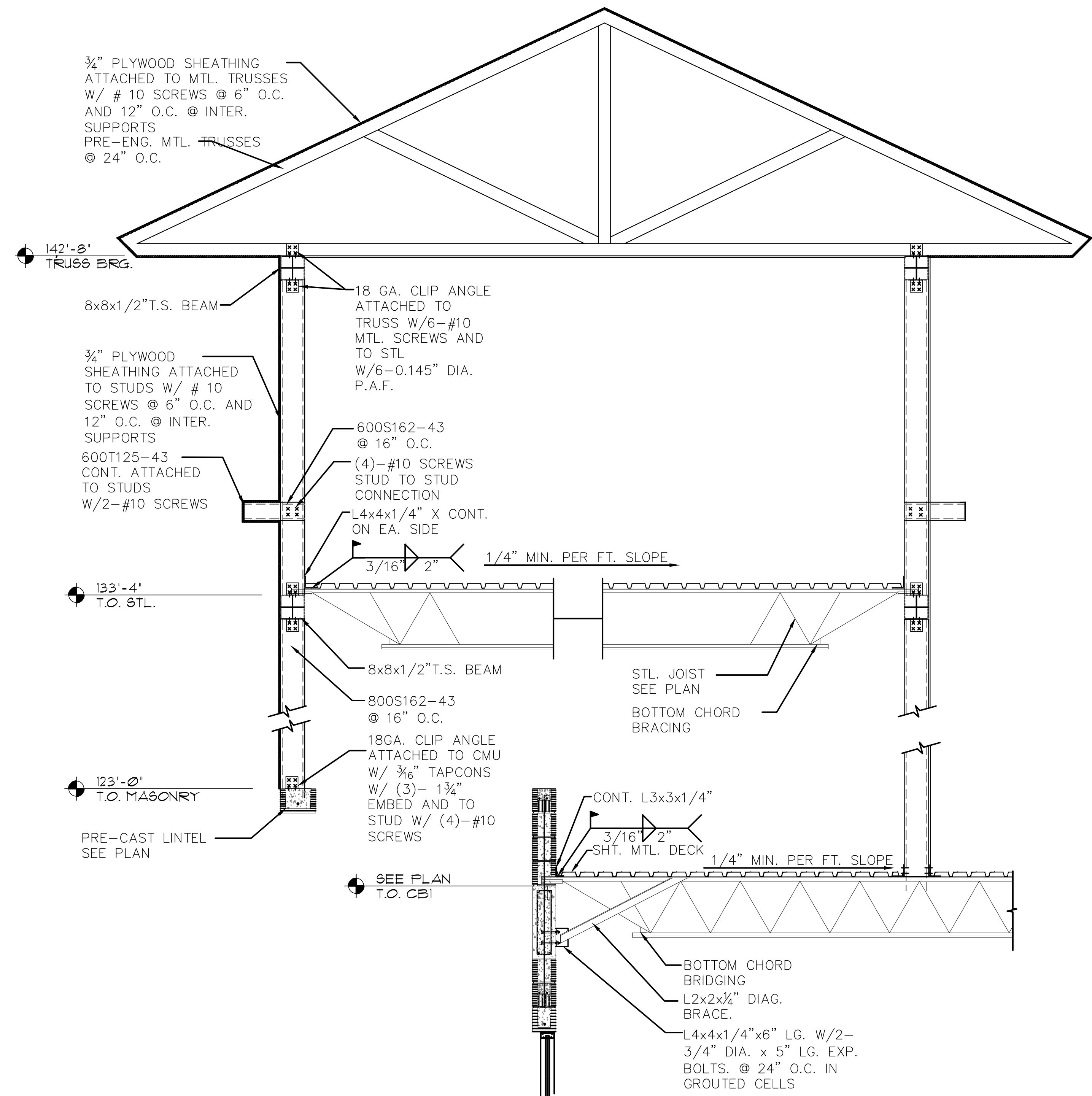
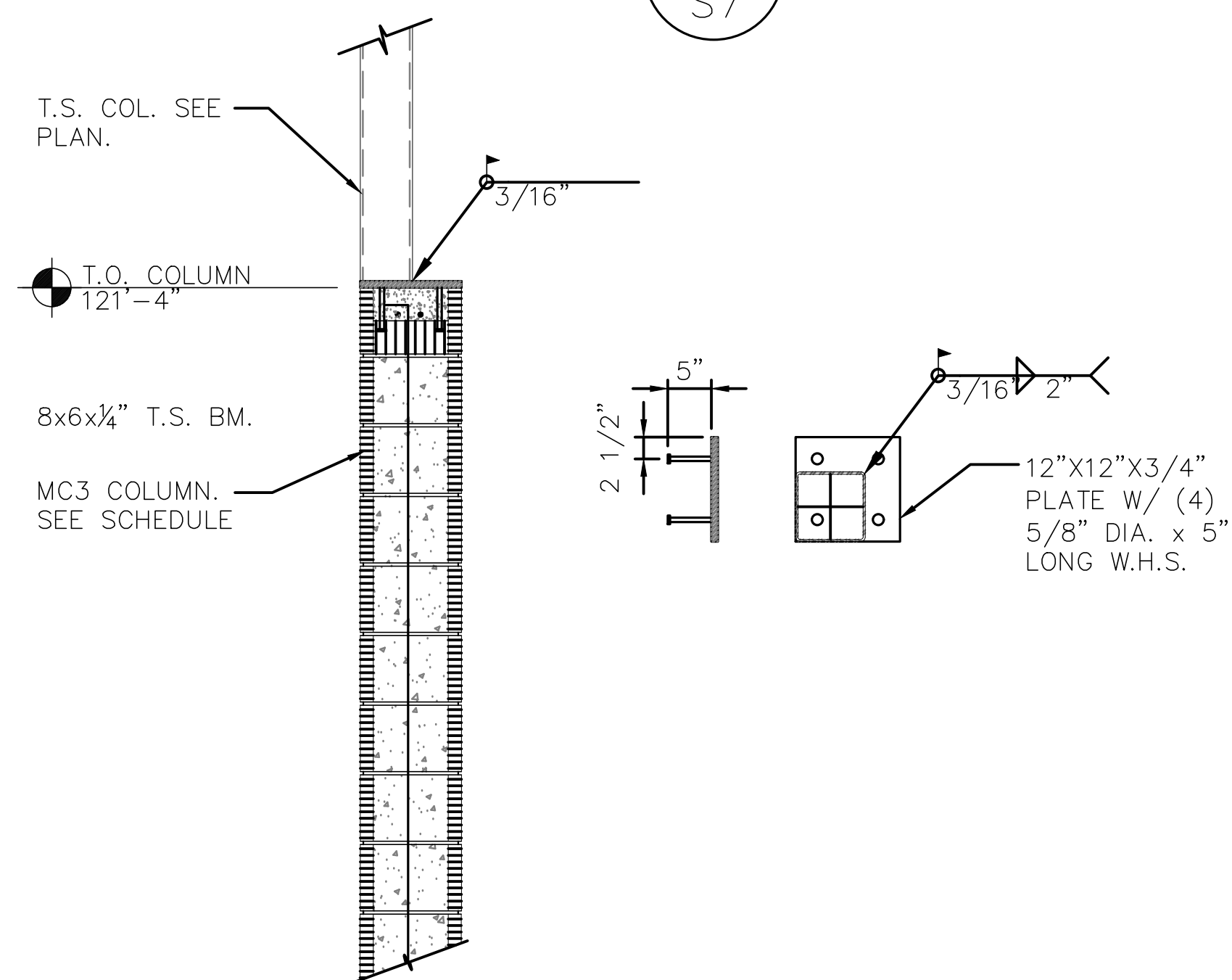
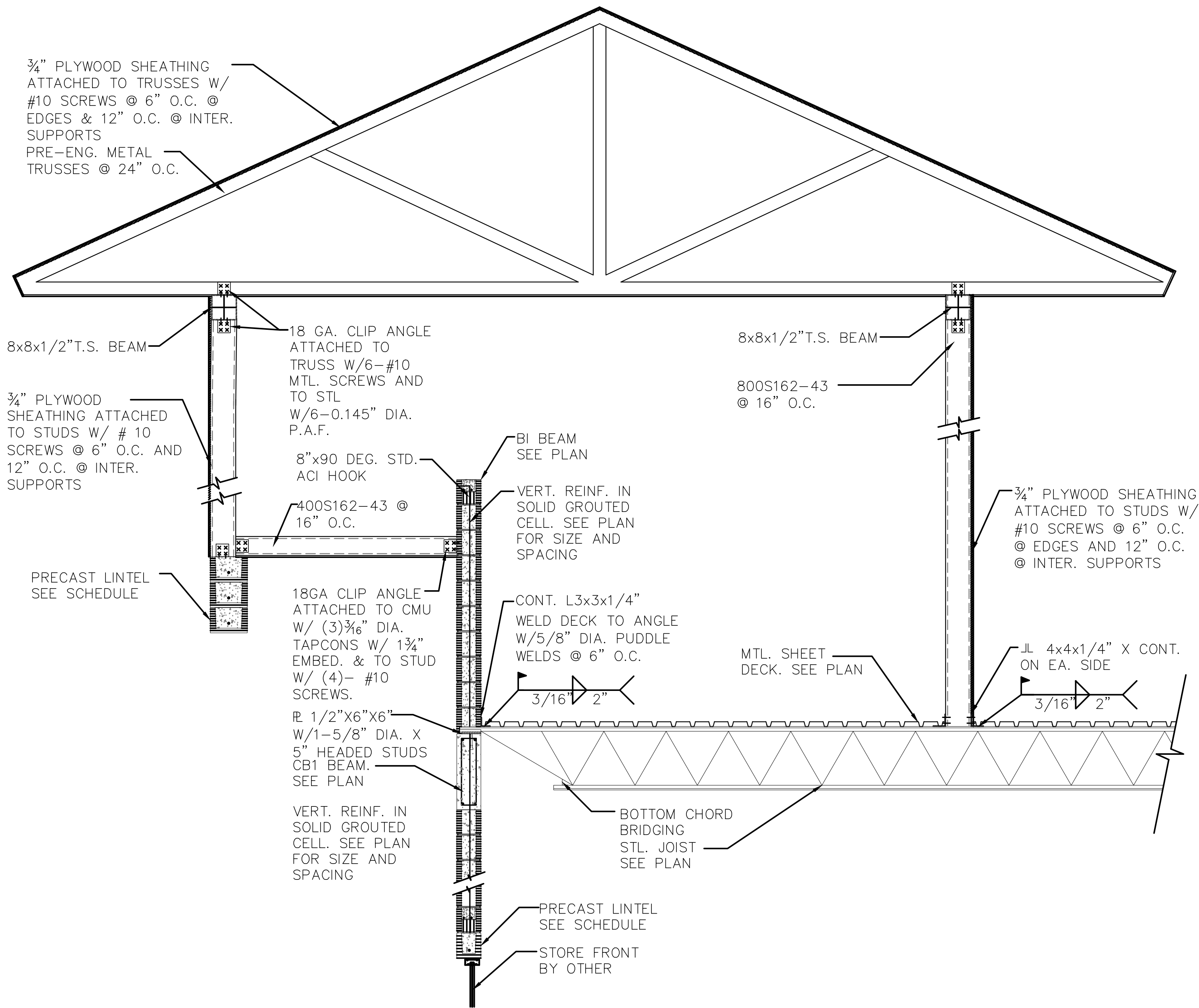
Architect of Record:
John W. Burl - JWB0163

Revisions		

Date: 06-05-2019	Drawn By: RR	Checked By: JWB
Project No. 19-019		
Sheet No.		

S5





Owner:
ALI JAWAD

DETAILS + SECTIONS
PLANTATION PLAZA
HWY 27
LEESBURG, FLORIDA

Architect of Record:
John W. Burt - AR93163

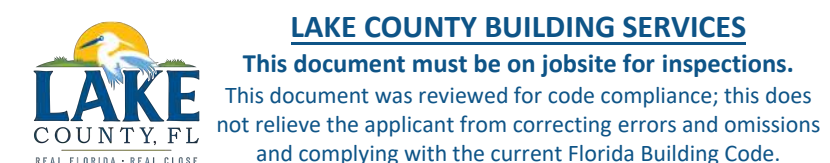
Revisions:

Date: 06-05-2019
Drawn By: RR
Checked By: JWB

Project No.
19-019

Sheet No.

S7



STRUCTURAL DESIGN CRITERIA

GOVERNING CODES AND SPECIFICATIONS

1. Florida Building Code, 2004 Edition.
2. Specifications for Structural Steel Buildings, Allowable Stress Design and Plastic Design, June 1, 1989.
3. Building Code Requirements for Concrete Masonry Structures, ACI 530–02.
4. Building Code Requirements for Reinforced Concrete, ACI 318–02.
5. Specification for the Design of Cold–Formed Steel Structural Members, AISI, 1996.
6. Minimum Design Loads for Buildings and Other Structures, ASCE 7–02.
7. Standard Specifications for Open Web Steel Joists, K–Series, March 1, 2005.

DESIGN LOADS

- | | |
|---------------------------------------------|----------------|
| 1. Roof Dead Load Joists..... | 20..PSF |
| 2. Upper Roof Dead Load | 30..PSF |
| 3. Roof Live Load | 20..PSF.... |
| 4. Misc. Dead Load..... | 5..PSF.... |
| 5. Stairs/Exits/Landings Live Load..... | 100..PSF |
| 6. Wind Load..... | 110..PSF.... |
| Importance Factor..... | 1.0..... |
| Wind Exposure Category..... | B..... |
| Enclosure Category..... | Enclosed Bldg. |
| Eave Height..... | 28.33..FT.... |
| Mean Roof Height..... | 28.33..FT.. |
| End Zone (Distance from Bldg. Corners)..... | 13..FT |
- Components & Cladding (for Walls, Windows & Doors):

Zone	Effective Wind Area (ft^2)	Basic Wind Speed (110 Mph – 3–Second Gust Pressure (PSF)	
Interior	10	19.9	–21.6
Interior	20	19.9	–20.7
Interior	50	19.0	–19.5
Interior	100	17.0	–18.7
Exterior	10	19.9	–26.6
Exterior	20	19.9	–24.8
Exterior	50	19.0	–22.5
Exterior	100	17.0	–20.7

GENERAL STRUCTURAL NOTES

FOUNDATION

1. Foundation design is based on an allowable soil bearing pressure of 2000 PSF and differential settlement of 1/2 inch.
2. Fill (if required) shall consist of non–organic sand with less than 10 percent passing the #200 sieve. Fill shall be place in 12 inch lifts and compacted to a minimum of 95 percent of the Modified Proctor maximum dry density (ASTM D1557).
3. Footings shall be excavated to their bearing elevations and the support soils compacted to a minimum of 95 percent of the Modified Proctor maximum dry density (ASTM D1557) to a depth of 2 feet below footing bearing elevations.
4. Contractor shall provide geotechnical engineering reports by a Florida Registered Geotechnical Engineer confirming that the above assumptions are adequate for the selected building pad. If other or more stringent recommendations are made by the geotechnical reports notify the Structural Engineer of Record prior to construction.
5. Contractor shall provide complete reports, prepared by a Florida Registered Geotechnical Engineer, of all monitoring and testing performed to bring the foundation strata within conformance of design recommendations. Monitoring and testing shall be performed in accordance with the project specifications.
6. Provide 6 mil vapor barrier over compacted subgrade for slab on grade. Vapor barrier shall be lapped a minimum of 6 inches in direction of concrete pour. Care shall be exercised to prevent damage or rupture of barrier. Where columns, pipe conduit, etc. penetrate membrane, cut around projection and seal with joint tape.

CONCRETE

1. All concrete work shall be accomplished in accordance with "Specifications for Structural Concrete for Buildings", ACI 301–02.
2. All concrete shall have a specified minimum compressive strength of 3,000 PSI at 28 days.
3. Concrete aggregate shall be 3/4" in accordance with ASTM C33.
4. Submit mix design for review prior to concrete pour.

MASONRY

1. All concrete masonry work shall be in accordance with "Specifications for Concrete Masonry Structures", ACI 530.1–02.
2. Concrete masonry units shall be in accordance with ASTM C90, Grade N, Type II and shall be of a type such that the cores line up vertically.
3. Compressive strength of masonry assemblage shall be 1500 PSI minimum.
4. Masonry mortar shall be in accordance with ASTM C270, Type S or M.
5. Grout for masonry work shall be in accordance with ASTM C476, Coarse Type, and shall attain a compressive strength of 2,000 PSI at 28 days.
6. Provide 9 gauge ladder type joint reinforcing at 16" on center vertically in all masonry construction. Lap joint reinforcement a minimum of 6" and discontinue at all wall joints.
7. Submit manufacturer's test data of masonry units and assemblage for review prior to construction.
8. Provide cleanout at the base of all grouted masonry cells. Clean masonry void to be grouted of all debris and mortar protrusions.
9. Provide masonry precast lintel with minimum 8" bearing over all masonry openings.

REINFORCEMENT

1. Reinforcing steel shall be in accordance with ASTM A615, Grade 60.
2. Masonry joint reinforcement shall be hot–dip galvanized steel wire in accordance with ASTM A82.
3. Welded wire fabric shall be in accordance with ASTM A185 and shall be placed in the upper 1/3 of the slab.

STRUCTURAL STEEL

1. All structural shapes, except structural tubing, shall be in accordance with ASTM A36.
2. Structural tubing shall be in accordance with ASTM A500, Grade B.
3. Bolted connections, unless otherwise stated, shall be in accordance with ASTM A325X.
4. Anchor bolts shall be in accordance with ASTM A307.
5. Headed studs shall be attached to plates such that the connection develops the full tensile strength of the stud.
6. Welding shall be in accordance with AWS D1.1 with E70XX electrodes.
7. Submit structural steel shop drawings for review prior to fabrication.

STEEL JOISTS

1. Design of steel joists shall be in accordance with Standard Specifications for Open Web Steel Joist, K–Series.
2. The manufacturer shall design the roof joists and joists with exterior exposure to resist the net uplift as specified on the plans. Allowable stresses may be increased by 1/3 only under the guidelines of the AISI Specification Section A5.2.
3. The joist manufacturer shall be a member of the Steel Joist Institute.

COLD–FORMED STRUCTURAL STEEL

1. All cold–formed structural steel members (sheet metal studs) shall be of the type, size, gage and spacing as shown on the structural and architectural plans.
2. All cold–formed structural steel members shall be in accordance with ASTM A446 with Fy = 40 KSI.
3. Welding shall be in accordance with AWS D1.3.
4. Prior to fabrication, submit engineered shop drawings, including bracing and connection details, to Structural Engineer for review.

TIMBER FRAMING

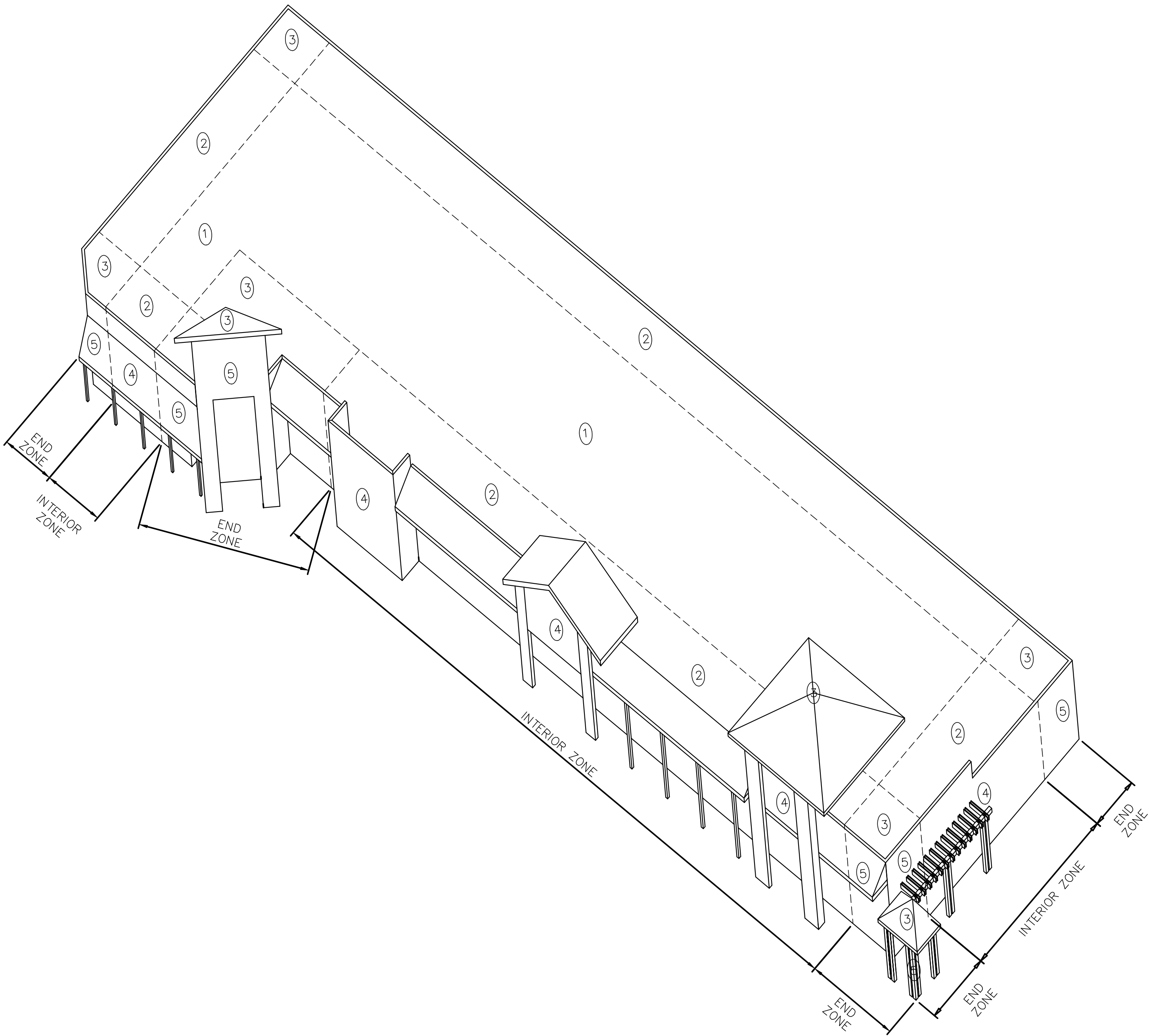
1. All timber frame construction shall be in accordance with Chapter 23, 2004 Florida Building Code.
2. Structural framing beams and rafters shall be minimum #2 Southern Yellow Pine w/ 19% moisture content. Wall studs may be #2 Spruce–Pine–Fir.
3. Provide continuous wind uplift load resistance path from roof to foundation for all structural elements.


TIMBER TRUSSES

1. Design of pre–engineered trusses shall comply with TPI Design Specifications for Metal Connected Wood Trusses.
2. Submit truss engineering to Structural Engineer of Record for review prior to fabrication. The submittal shall indicate design loads, wind speed, height above bearing, type of exposure and uplift and lateral loads at bearing points.
3. Contractor shall provide all bracing required by Truss Manufacturer's design. Temporary bracing shall also be provided in accordance with TPI "Commentary and Recommendations for Bracing Wood Trusses BWT–76."

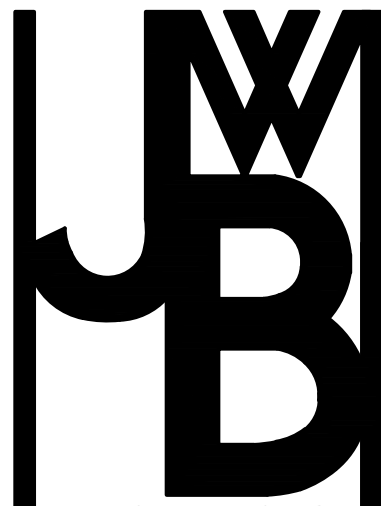
MISCELLANEOUS

1. Contractor shall brace all construction against gravity, lateral and uplift loads until structure is complete.
2. Coordinate structural work with architectural plans and all other trades.
3. All construction shall be in accordance with the Florida Building Code, 2004 Edition.





LAKE COUNTY BUILDING SERVICES
This document must be on jobsite for inspections.
This document was reviewed for code compliance; this does not relieve the applicant from correcting errors and omissions and complying with the current Florida Building Code.



ARCHITECTS
LIC. # AA26001266
2295 S. HIAWASSEE RD.
SUITE 304
ORLANDO, FLORIDA 32835
PH:407.298-5020
FX:407.298-5030

Owner:

ALI JAWAD

NOTES

PLANTATION PLAZA

HWY 27

LEESBURG, FLORIDA

Architect of Record:
John W. Burl - ARS0163

Revisions

Date 06-05-2019	Drawn By RR	Checked By JWB
--------------------	----------------	-------------------

Project No.
19-019

Sheet No.

S8